

VILLAGE OF OSCEOLA PLAN COMMISSION MEETING

Date: Tuesday, September 5, 2023
Time: 6:00 p.m.
Place: Large Conference Room (Rm 205)
310 Chieftain Street
Osceola WI 54020

PLAN COMMISSION AGENDA

1. Call the meeting to order
2. Approval of agenda
3. Approval of minutes
 - a. August 1, 2023
4. Discussion and possible action re:
 - a. Land Transfer – 165-00193-0000 and 165-00198-0000
 - b. Preliminary site plan review – Wurzer Brothers
 - i. Public Hearing Date for Wurzer Brothers – Late September
 - c. Recreation Plan
 - d. Fair Building Discussion
 - e. Comp Plan Update
5. Future agenda items and updates
6. Adjourn

NOTE: It is possible that members of other governmental bodies of the municipality may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Village Hall at (715) 294-3498.

PLAN COMMISSION MEETING PROCEEDINGS

August 1st, 2023

The Plan Commission of the Village of Osceola met on August 1st, 2023 to hold a regular monthly meeting Chair Gilliland called the meeting to order at 6:00 p.m.

Present: Deb Rose, Bruce Gilliland, Kim O'Connell, Bill Chantelois V, Dennis Tomfohrde, Rob Bullard, Mike Sine

Excused:

Staff present: Devin Swanberg

Motion to approve the agenda was made by Rose, second by Bullard motion passed 7-0

Motion to approve the minutes of the 7/20/2023 commission meeting was made by Rose and seconded by Sine, motion passed 7-0

The Osceola Fair board presented their intention to build a new fair building. It was stated that the village staff would like to see the building moved to a lot to the west of the baseball field. The fair committee would like to keep the building at its current site. The building will be 52'x144' and will be built in two phases. They currently have about 50% funding but would like to nail down a location for the structure. The fears of moving it are the parking issues and access to the tractor and truck pull. Sine made a motion to instruct village staff to work on a park plan with the building in the current location. Motion was seconded by , motion passed 6-1 (nay Tomforhde)

There was a discussion regarding how the village should go ahead with the comprehensive plan, the pros and cons of hiring a firm vs doing it in house. The motion was made to get proposals from firms in the area. Bullard made the motion and Sine seconded the motion the motion passed 7-0

Administrator Swanberg presented a preliminary survey of the 12 acre parcels on the south side of the village by the Kwiktrip. The survey will create 3 different lots and have the layout for the future Ridge Road. Sine made the motion to accept the preliminary survey and Rose seconded the motion. The motion passed 7-0

Future Agenda Items

Would like to reevaluate public input at the meeting.

The meeting was adjourned at 6:43

Minutes Respectfully submitted by Devin Swanberg, Village Administrator


Proposal for Land Transfer

July 21st, 2023

This is a proposal for the transfer for an unlabeled parcel of land owned by the Village of Osceola that is located between Parcel 165-00193-0000 (718 Cascade St) owned by Jeff and Tamara Rapp and Parcel 165-00198-0000 (711 Chieftain St) owned by Alan and Haley Barrett.

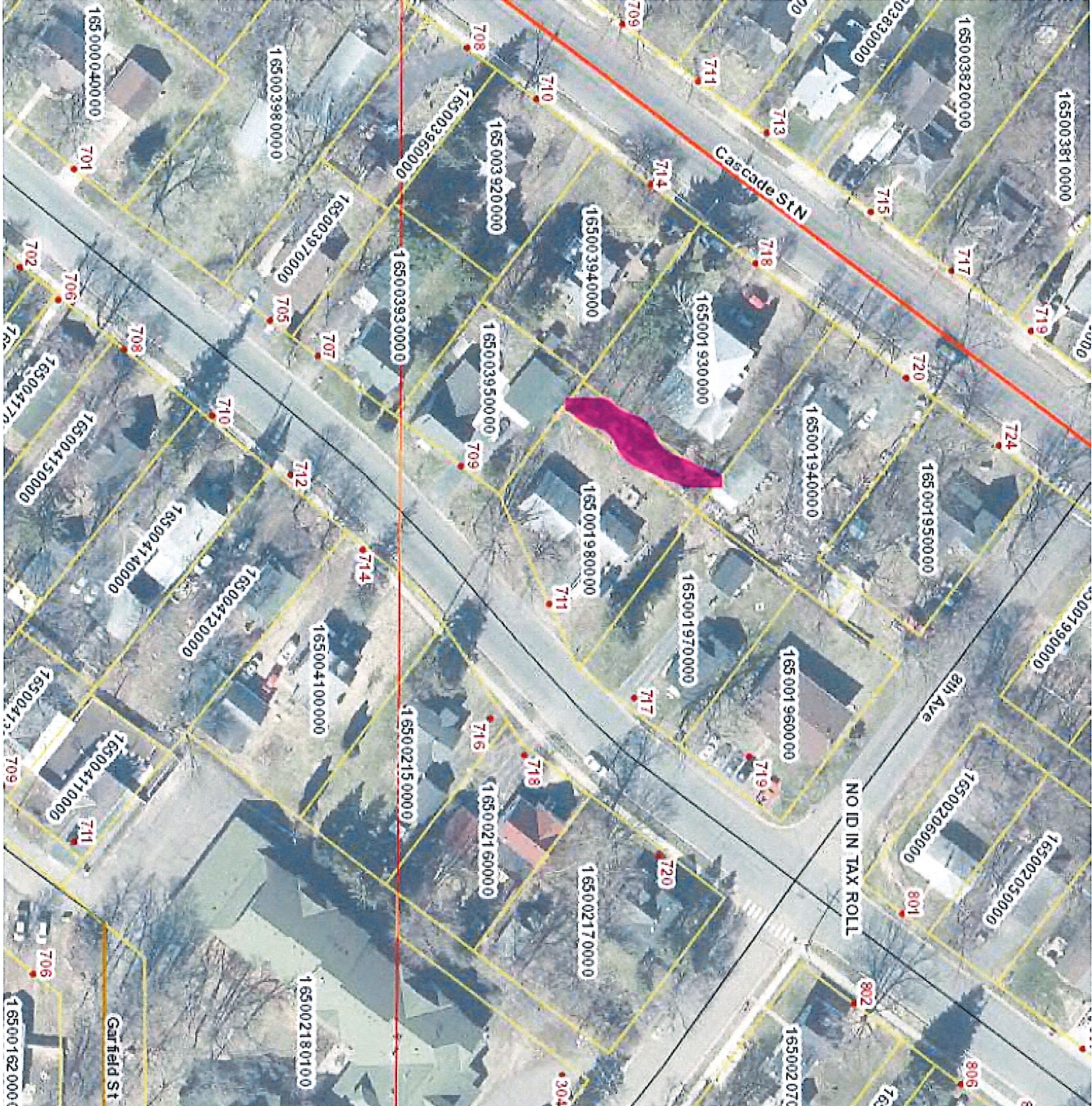
It is proposed that the unlabeled parcel be divided equally between the adjoining properties along a line parallel to the existing boundary and transferred to the new owners for the sum of one dollar (\$1.00) per family. It is further proposed that the Village pay all associated costs for the transaction which will include - but is not limited to - legal fees, recording and transfer fees, surveying and appraisal.

In exchange for this transfer, the new owners will work together to remove the dead and dying trees, as well as the existing fence, from the unlabeled parcel. The new owners will equally share the cost and responsibility of the removal.


Jeff and Tamara Rapp
612. 240. 4485

Alan and Haley Barrett





ESTIMATE



Prepared For

Village Of Osceola
310 CHIEFTAIN STREET
Osceola , WI 54020
(715) 294-3498

JOHNSON'S TREE & LANDSCAPE LLC

207 85th Ave
Clayton, WI 54004
Phone: (715) 554-3670
Email: jws7155543670@gmail.com

Estimate # 132
Date 07/12/2023
Business / Tax # 881485789

Description

8 trees
On fence line

Subtotal	\$3,700.00
Total	\$3,700.00

Notes:

Down and chipped

Thank you for your business

JORDAN JOHNSON

Village Of Osceola

Meyer Tree Service LLC

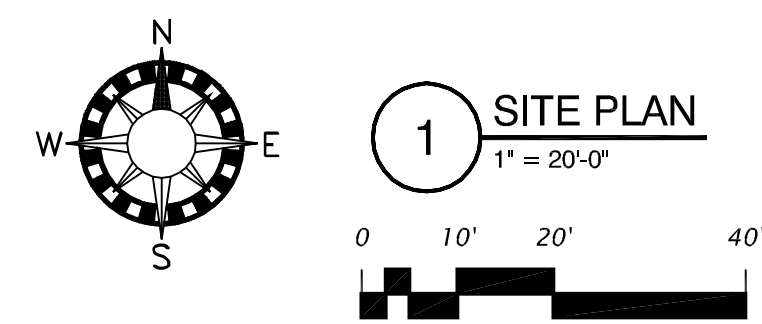
606 267th Street
Osceola WI 54020

Estimate

Date	Estimate #
6/30/2023	2256

Name / Address
Village of Osceola PO Box 217 Osceola WI 54020

			Project
Description	Qty	Rate	Total
Job site: 718 Cascade Street, City easement behind property. Cut down all marked trees using bucket truck. Clean up and dispose all debris using loader truck and skid loader.		4,000.00	4,000.00
Total			\$4,000.00



ENERGY CODE NOTES:

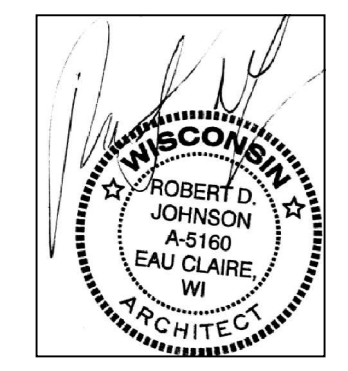
1. WINDOW MAX U VALUE = 0.32.
2. DOORS WITH MORE THAN 50 % GLASS MAX U = 0.32.
3. DOORS WITH LESS THAN 50 % GLASS MAX U = 0.14
4. CEILING R-60
5. WOOD FRAME WALLS R-19 CAVITY
6. FLOOR R-60
7. FOUNDATION PERIMETER INSULATION R-15

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS

SHEET INDEX

A1	COVER SHEET & SITE PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN & SCHEDULES
A4	ROOF PLAN AND ELEVATIONS
A5	WALL SECTIONS
A6	WALL SECTIONS
A7	WALL SECTIONS
A8	WALL SECTIONS
A9	STAIR SECTION & LIFE SAFETY PLAN
S1	FOUNDATION PLAN
S2	FIRST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	STRUCTURAL SECTIONS & NOTES



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CODE ANALYSIS:

TOTAL AREA PER BLDG	18,879 SF
FOOTPRINT	9,486 SF
GARAGE	4,725 SF
GROUND FLOOR	4,861 SF (EXCLUDES PATIO)
SECOND FLOOR	9,393 SF

TOTAL UNITS PER BUILDING = 12
 TOTAL BEDROOMS PER BUILDING = 24
 TOTAL BUILDINGS = 1

CODE ANALYSIS:

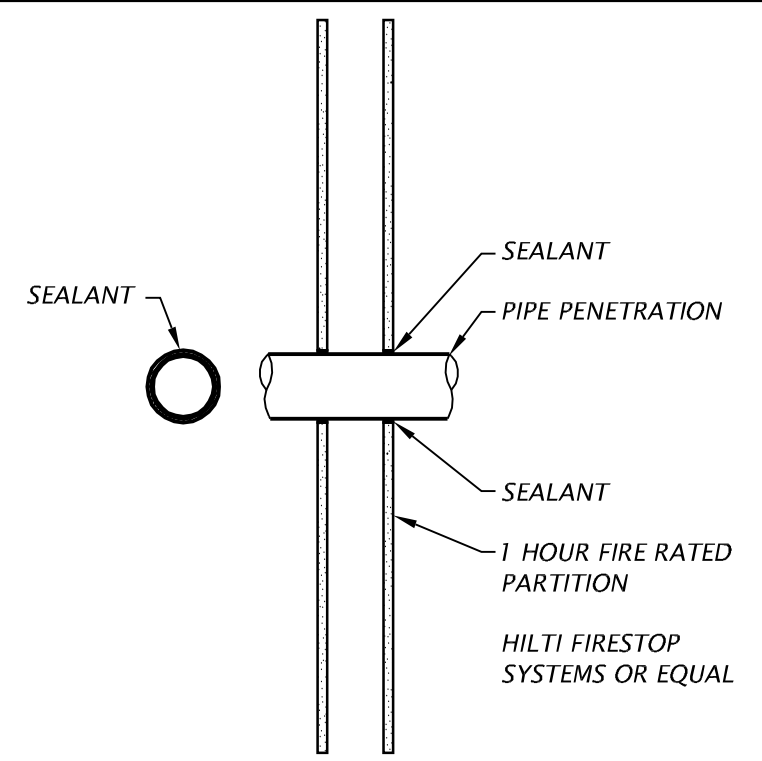
CODES: 2015 IBC, ANSI A117.1 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

OCCUPANCY R-2, CONSTRUCTION VB, NFPA-13R SPRINKLER SYSTEM
 IBC 406.3.4 SEPARATION OF PRIVATE GARAGES FROM DWELLING UNITS SHALL COMPLY WITH 406.3.4.1 THROUGH 406.3.4.3
 IBC 406.3.4.1 PRIVATE GARAGES REQUIRE 1/2" SHEETROCK ON WALLS AND 5/8" TYPE 'X' SHEETROCK ON CEILINGS. MAIN DOORS SHALL BE EITHER SOLID WOOD, SOLID OR HONEYCOMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTE RATED ASSEMBLIES.
 IBC 420.2 WALLS SEPARATING DWELLING UNITS SHALL BE FIRE PARTITIONS AND COMPLY WITH IBC 708
 IBC 420.3 HORIZONTAL ASSEMBLIES TO COMPLY WITH IBC 711
 IBC 420.5 AUTOMATIC SPRINKLER SYSTEM TO COMPLY WITH IBC 903.2.8
 IBC TABLE 504.4, R-2, S ALLOWS FOR 3 STORIES
 IBC TABLE 506.2, R-2, SM ALLOWS 7,000 SF PER FLOOR
 IBC 506.2.3 AA = (AT+(NSXIF))XSA; AA = (7000+(7000X0.75))X2; AA = 24,500 SF ALLOWABLE
 IBC 506.3.3 IF = (F/P-0.25)W/30; IF = 552/522-0.25)30/30; IF = 0.75
 IBC 508.3 NONSEPARATED OCCUPANCIES USED
 IBC 602, TABLE 602 10' TO 30' FIRE SEPARATION = 0 HR EXTERIOR WALLS RATED BY TABLE 1020.1
 IBC 708.3 FIRE PARTITIONS TO HAVE 1 HOUR FIRE PARTITIONS BETWEEN DWELLING UNITS PER THIS SECTION.
 IBC 708.4 FIRE PARTITIONS SHALL EXTEND FROM FOUNDATION TO FIRE RATED FLOOR/CEILING AND FROM FIRE RATED FLOOR/CEILING TO FIRE RATED ROOF/CEILING. PROVIDE FIRE BLOCKING.
 IBC 711.2.4.3 THE HORIZONTAL FLOOR AND ROOF ASSEMBLIES BETWEEN DWELLING UNITS SHALL BE 1 HOUR RATED.
 IBC 714 PROVIDE PENETRATIONS OF ALL FIRE RATED SYSTEMS AS PER THIS SECTION
 IBC 714.4.2 MEMBRANE PENETRATIONS THRU HORIZONTAL ASSEMBLIES: EXCEPTION 7 - CEILING MEMBRANE CAN BE INTERRUPTED WITH A DBL TOP PLATE PROVIDED THE WALL IS SHEATHED WITH TYPE 'X' SHEETROCK.
 IBC 717 PROVIDE DUCT AND AIR TRANSFER OPENING PROTECTION AS PER THIS SECTION
 IBC 718 CONCEALED SPACES SHALL BE FIREBLOCKED AS PER THIS SECTION
 IBC 720 THERMAL INSULATING MATERIALS SHALL COMPLY WITH THIS SECTION.
 IBC TABLE 803.1.1 SPRINKLERED. PROVIDE CLASS C FINISHES FOR ALL WALLS. FLAME SPREAD INDEX 76-200 SMOKE DEVELOPED INDEX 0-450
 IBC 801 INTERIOR FINISHES SHALL COMPLY WITH THIS SECTION.
 IBC 903.2.8 AUTOMATIC SPRINKLER SYSTEM IS REQUIRED
 IBC 903.3.1.2 PROVIDE NFPA 13R SPRINKLER SYSTEM.
 IBC 906 PROVIDE PORTABLE FIRE EXTINGUISHERS AS PER THIS SECTION
 IBC 907.2.9, EXCEPTION 1, MANUAL FIRE ALARM BOXES ARE NOT REQUIRED W/ 1 HOUR SEPERATION WALLS AND DIRECT ACCESS TO PUBLIC WAY.
 IBC 907.2.11.2, PROVIDE SMOKE DETECTION PER THIS SECTION
 IBC 915 INSTALL CARBON MONOXIDE DETECTION AS PER THIS SECTION
 IBC TABLE 1006.2.1 ALLOWS ONE EXIT FROM DWELLING UNIT WITH MAXIMUM COMMON PATH EXIT DISTANCE IN R-2 OCCUPANCY WITH SPRINKLER SYSTEM & MAX OCCUPANT LOAD OF 10 = 125'. ACTUAL = 112' MAX.
 IBC 1015.8 WINDOW OPENING CONTROL DEVICES SHALL BE PROVIDED ON UPPER FLOOR WINDOWS IF THEY ARE LESS THAN 36" ABOVE THE FLOOR AND SHALL COMPLY WITH ASTM F 2090 TO ALLOW MAX 4" OPENING.
 IBC 1019.3 ITEM 1 - EXIT ACCESS STAIRWAYS THAT SERVE BETWEEN ONLY TWO STORIES SHALL NOT REQUIRE SHAFT ENCLOSURE CONSTRUCTION.
 IBC 1030 EMERGENCY ESCAPE AND RESCUE IN SECOND STORY UNITS WITH ACCESS TO ONE EXIT AS PER TABLE 1006.3.2(1). PROVIDE ONE EMERGENCY EGRESS IN EACH SLEEPING ROOM. PROVIDE MIN 5.7 SQ FT OPENING, 20" MIN WIDTH X 24" MIN HEIGHT NET OPENING AT 44" MAX TO FINISH FLOOR.
 IBC 1107.7.1 ALL UNITS ON THE GROUND FLOOR ARE REQUIRED TO BE TYPE 'B' UNITS
 IBC 1107.7.2 SECOND FLOOR UNITS ARE NOT TYPE 'B' UNITS
 IBC 1504 & 1505 ASPHALT SHINGLES SHALL COMPLY WITH THESE SECTIONS.
 IBC 1709.5.2 EXTERIOR DOOR TO COMPLY WITH THIS SECTION.
 IBC CHAPTER 18, SOILS & FOUNDATIONS SHALL COMPLY WITH THIS CHAPTER.
 IBC 1907 CONCRETE SLAB PROVISIONS SHALL COMPLY WITH THIS SECTION.
 IBC 2101 MASONRY MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.
 IBC CHAPTER 23 WOOD MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.
 IBC CHAPTER 26 FOAM PLASTIC INSULATION MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.
 IBC CHAPTER 33 SAFEGUARDS DURING CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.

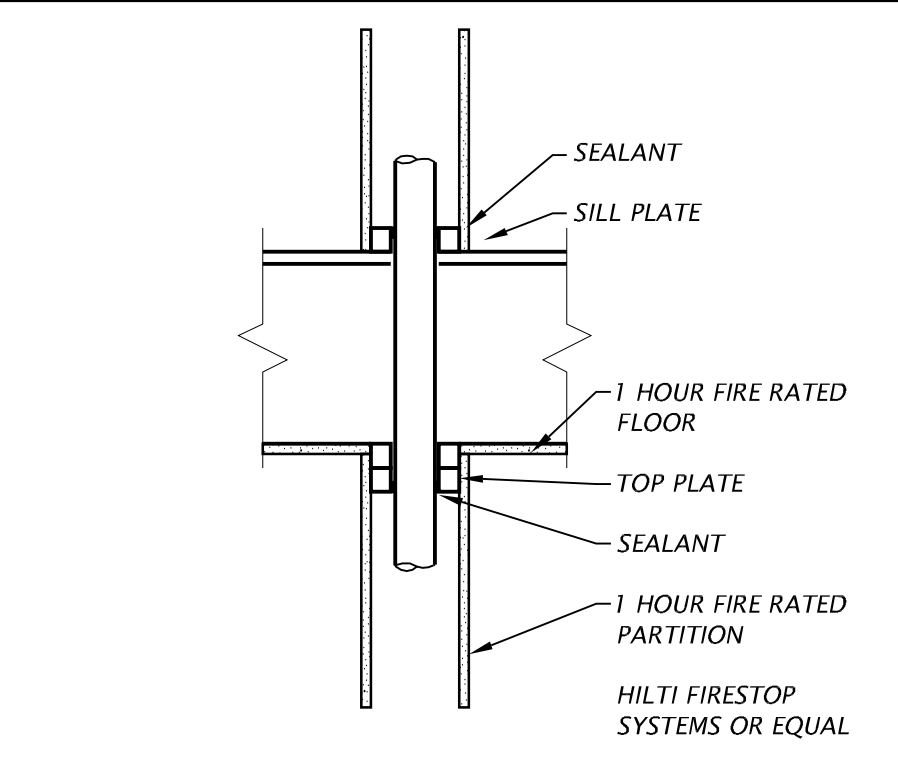
OSCEOLA HEIGHTS - 12 PLEX - LOT 2

RIDGE ROAD
 OSCEOLA, WI

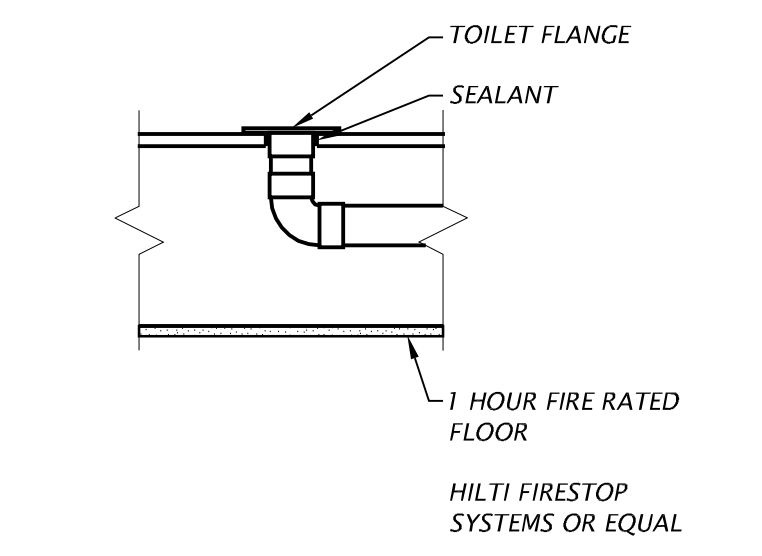
COVER SHEET & SITE PLAN



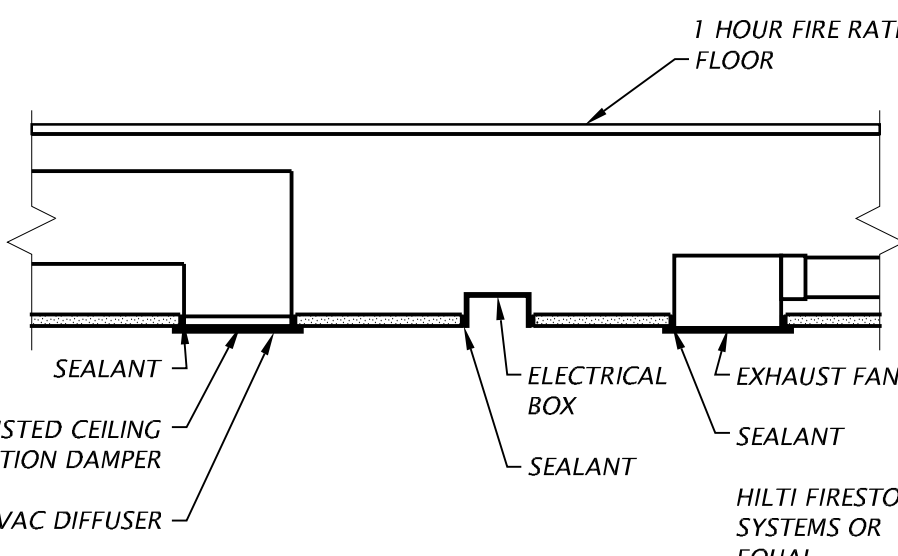
4 PIPE PENETRATION THRU WALL
1" = 1'-0"



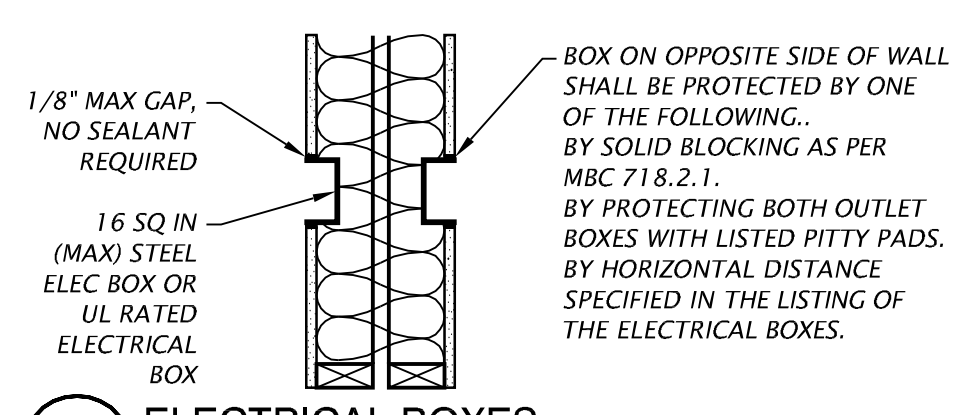
5 PIPE PENETRATION THRU FLOOR
1" = 1'-0"



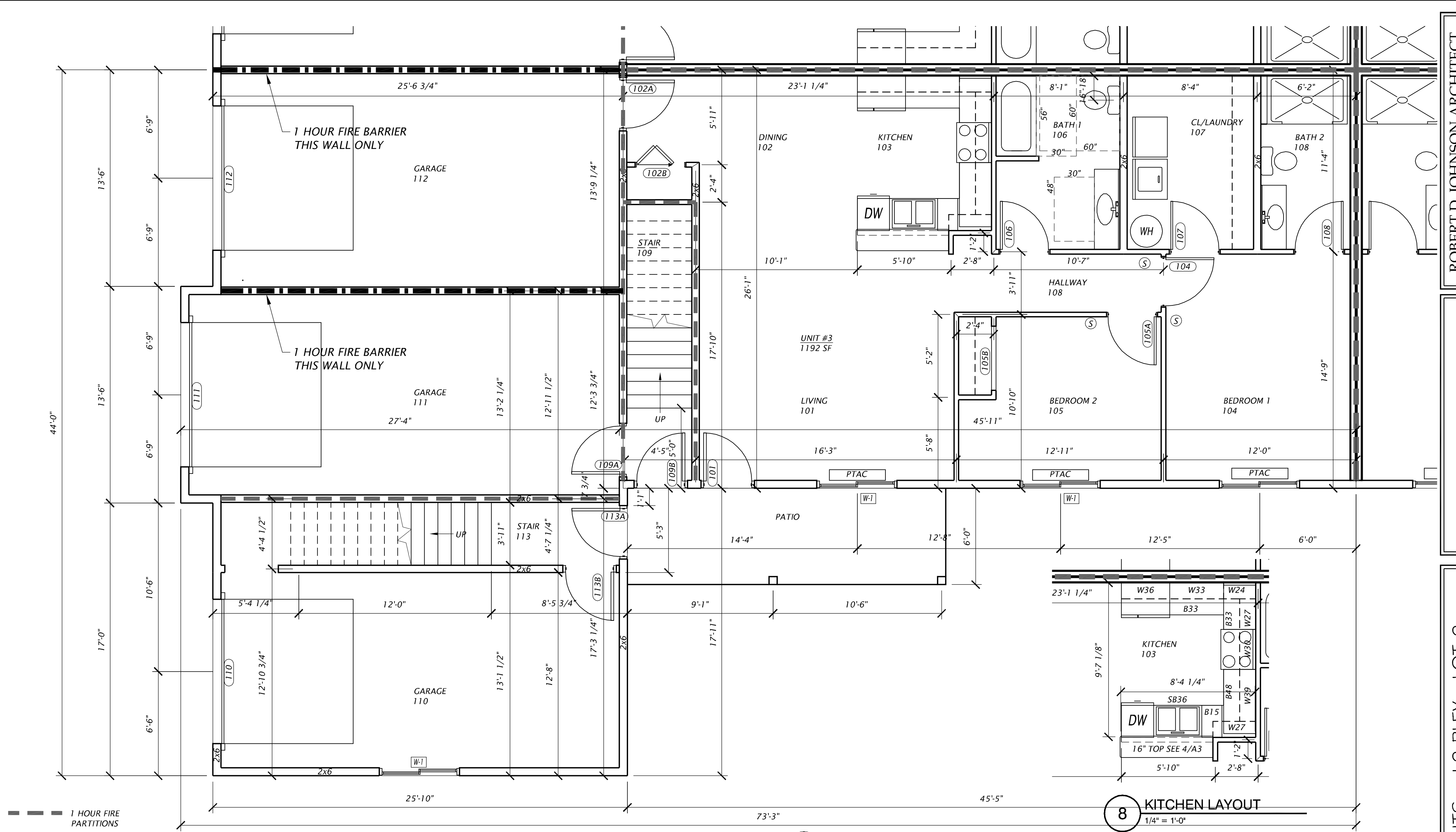
6 DRAIN PIPE PENETRATION
1" = 1'-0"



7 CEILING PENETRATION DETAILS
1" = 1'-0"



8 ELECTRICAL BOXES
1" = 1'-0"



2 ENLARGED PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"

8 KITCHEN LAYOUT
1/4" = 1'-0"

HANDICAP NOTES, ALL UNITS ON FIRST FLOOR (TYPE B), TO COMPLY WITH ANSI A117.2009:

PROVIDE INTERIOR HANDICAP ACCESS TO ALL UNITS. SWITCHES, RECEPTACLES AND CONTROLS TO BE FROM 15" TO 44" ABOVE FINISHED FLOOR AND OPERATE WITH ONE HAND.

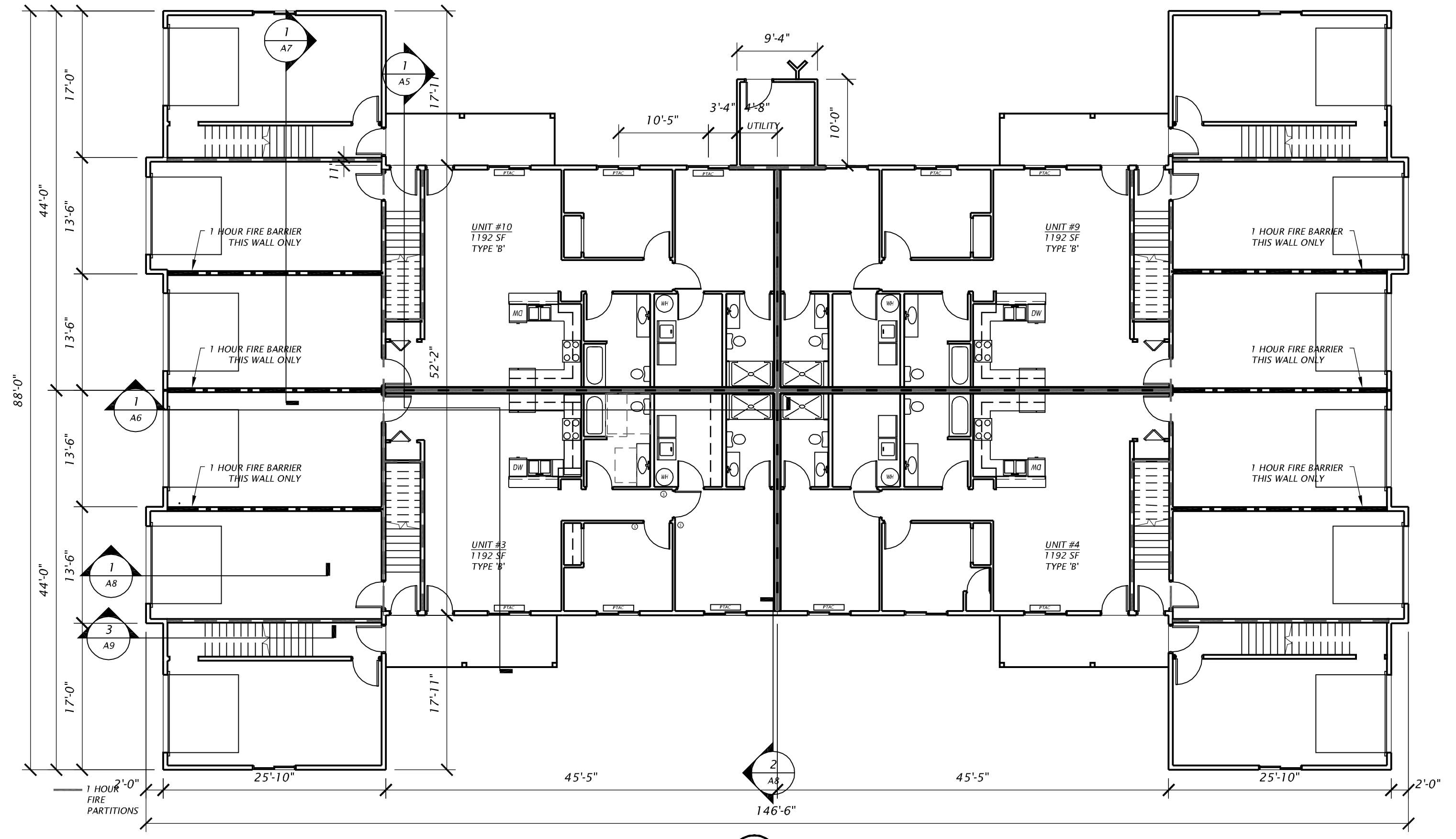
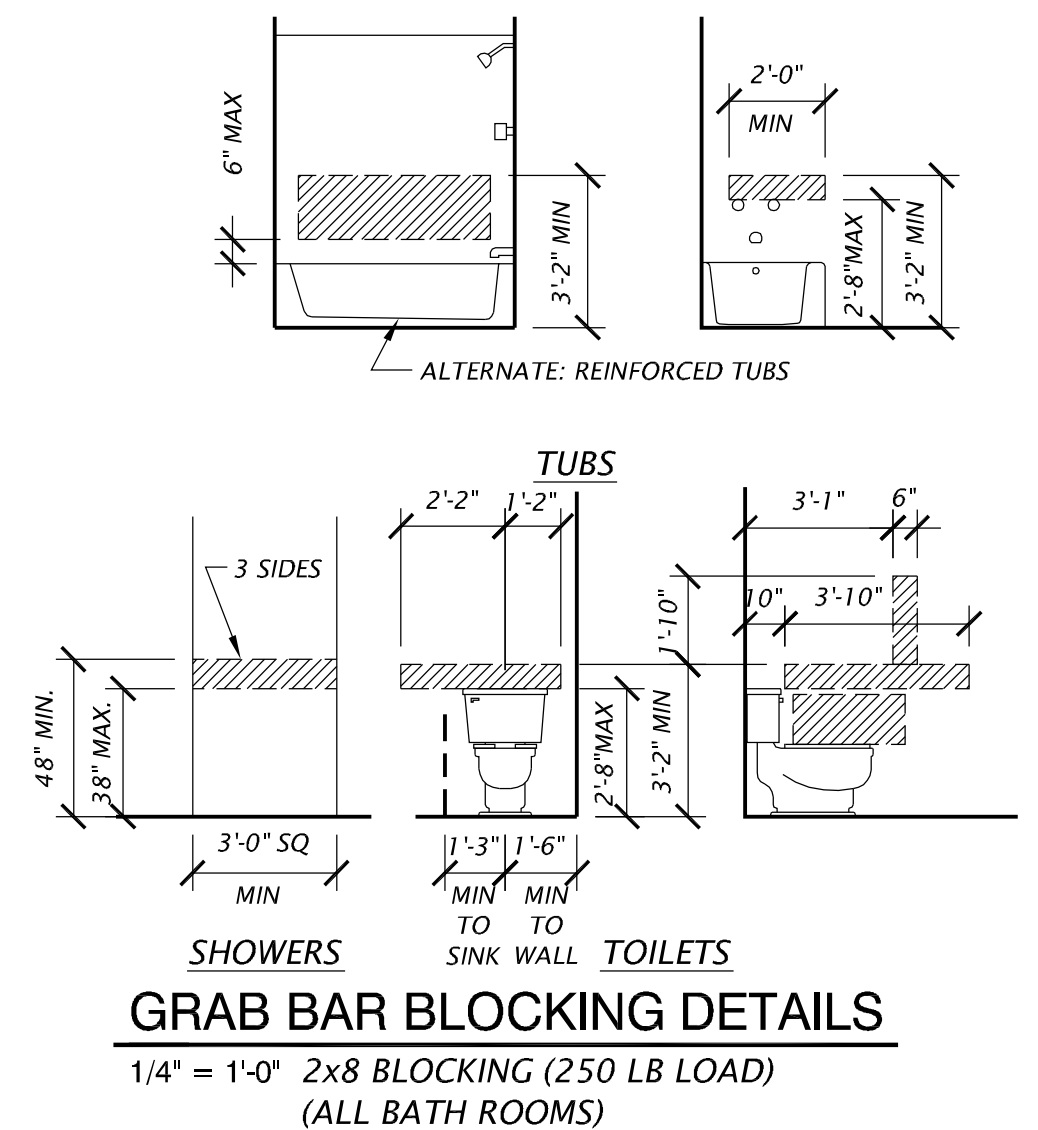
PROVIDE GRAB BAR BLOCKING IN BATH 1, FIRST FLOOR ONLY PER THIS DETAIL.

DOORS TO HAVE MIN 31 3/4" CLEAR OPENING. ENTRANCE DOOR REQUIRES 32" MIN CLEAR OPENING AND PROVIDE 24" CLEAR TO LATCH SIDE OF ENTRANCE DOORS. DOORS TO HAVE LEVER HANDLES 34" TO 48" HEIGHT.

ICC/ANSI A117.1 SEC. 1004.5.2.1 - DOORWAYS INTENDED FOR USER PASSAGE WITHIN TYPE B DWELLING OR SLEEPING UNITS INTENDED TO BE USED AS A RESIDENCE SHALL HAVE A 31 3/4" INCH CLEAR OPENING, INCLUDING DOORWAYS TO DECKS, PATIOS OR BALCONIES. WHEN THE DEPTH OF THE DOOR OPENING IS MORE THAN 24 INCHES THE CLEAR OPENING SHALL BE 36 INCHES.

ICC/ANSI A17.1 SEC. 1004.10 - WASHING MACHINES AND CLOTHES DRYERS USED BY TYPE B DWELLING UNITS SHALL COMPLY WITH CLEAR FLOOR SPACE REQUIREMENTS OF SEC. 305.3, CENTERED ON EACH APPLIANCE FOR A PARALLEL APPROACH.

MAX 1/2" THRESHOLD BEVELED 1:2 TO MAXIMUM 1/4" INCH VERTICAL RISE.



1 OVERALL FIRST FLOOR PLAN
3/32" = 1'-0"

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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

FIRST FLOOR PLANS

6-23-23
A2

ROOM FINISH SCHEDULE											
NO.	ROOM NAME	CLG. HGT.	FLOOR		BASE		WALLS		CEILING		NOTES
			SEAL'D CONCRETE	VINYL	CARPET	CT	WOOD	CERAMIC TILE	PAINTED POP BOARD	C.I. W.C. W/ PAINTED G.E.	
101	LIVING	8'-0"									
102	DINING	8'-0"									
103	KITCHEN	8'-0"									
104	BEDROOM	8'-0"									
105	BEDROOM	8'-0"									
106	BATH	8'-0"									
107	LAUNDRY	8'-0"									
108	CLOSET	8'-0"									
109	STAIR	8'-0"									VINYL @ LANDING
110	GARAGE	8'-0"									
111	GARAGE	8'-0"									
112	GARAGE	8'-0"									
113	STAIR	8'-0"									VINYL @ LANDING
114	SPRINKLER	8'-0"									
201	LIVING	8'-0"									
202	DINING	8'-0"									
203	KITCHEN	8'-0"									
204	BEDROOM	8'-0"									
205	BEDROOM	8'-0"									
206	BATH	8'-0"									
207	CLOSET/LAUNDRY	8'-0"									
208	CLOSET	8'-0"									
211	LIVING	8'-0"									
212	DINING	8'-0"									
213	KITCHEN	8'-0"									
214	BATH	8'-0"									
215	BEDROOM	8'-0"									
216	CLOSET	8'-0"									
217	LAUNDRY	8'-0"									
218	BEDROOM	8'-0"									
219	BATH	8'-0"									
220	PANTRY	8'-0"									

ROOM FINISH NOTES

- ALL FINISHES TO BE VERIFIED BY GENERAL CONTRACTOR
- ALL COLORS BY OWNER.

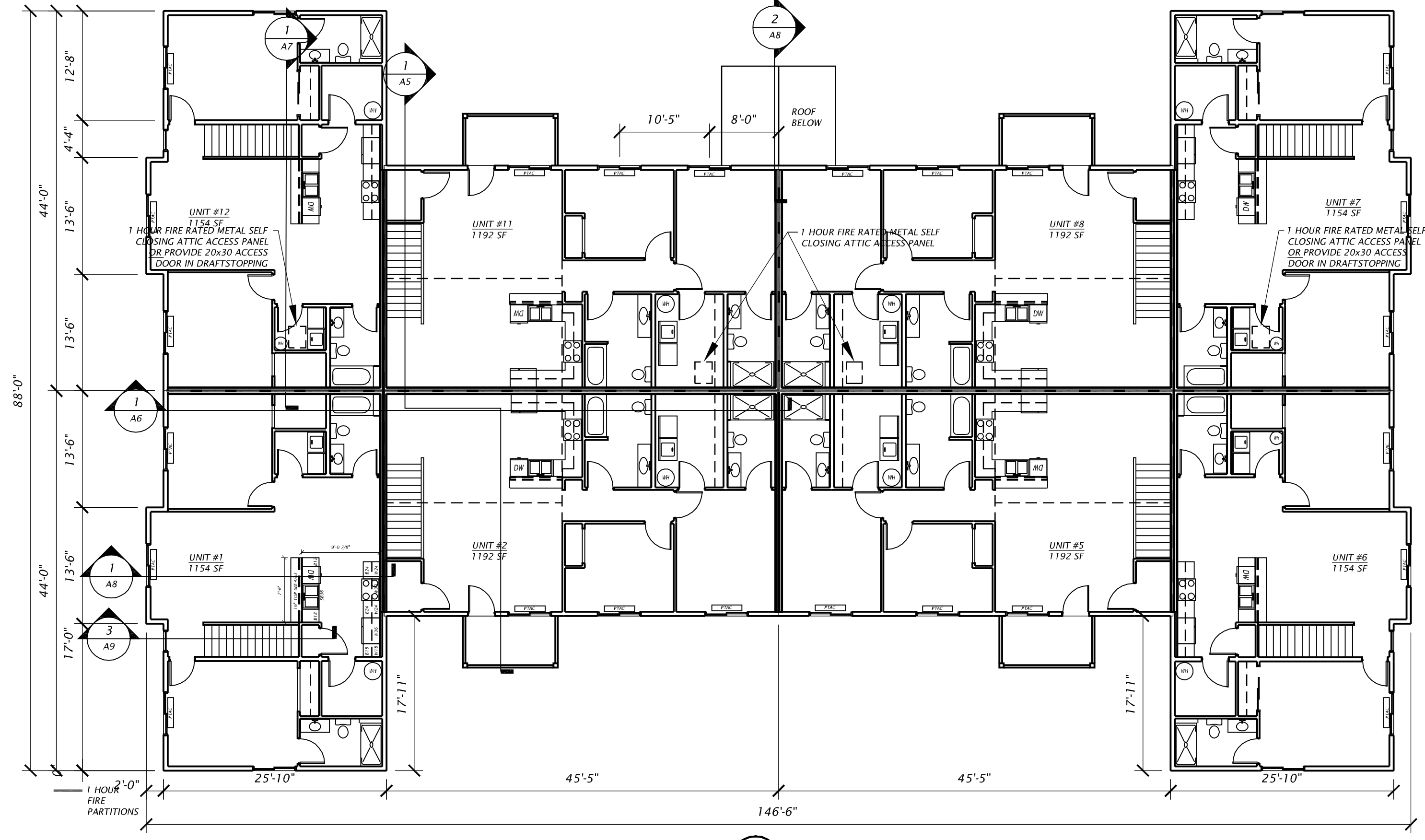
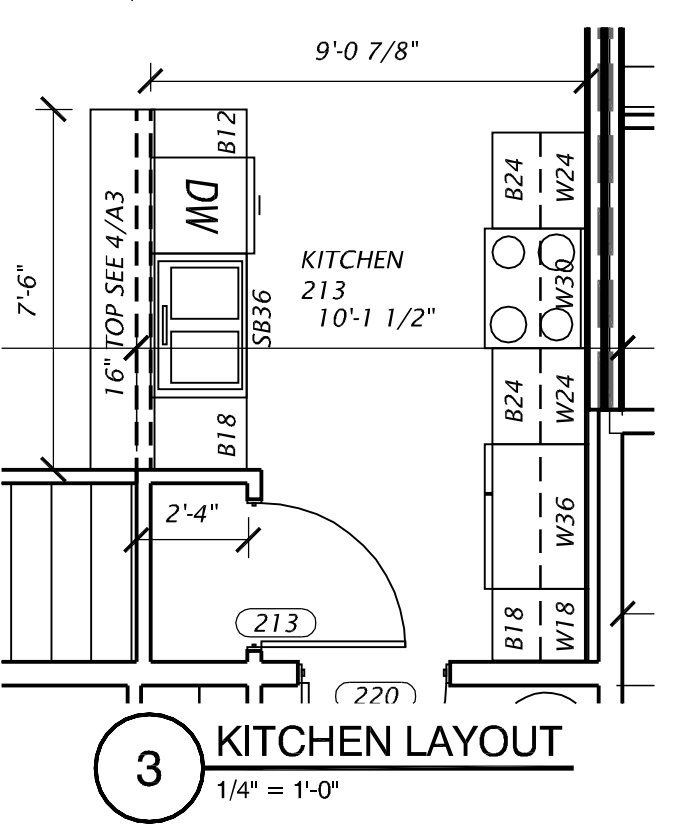
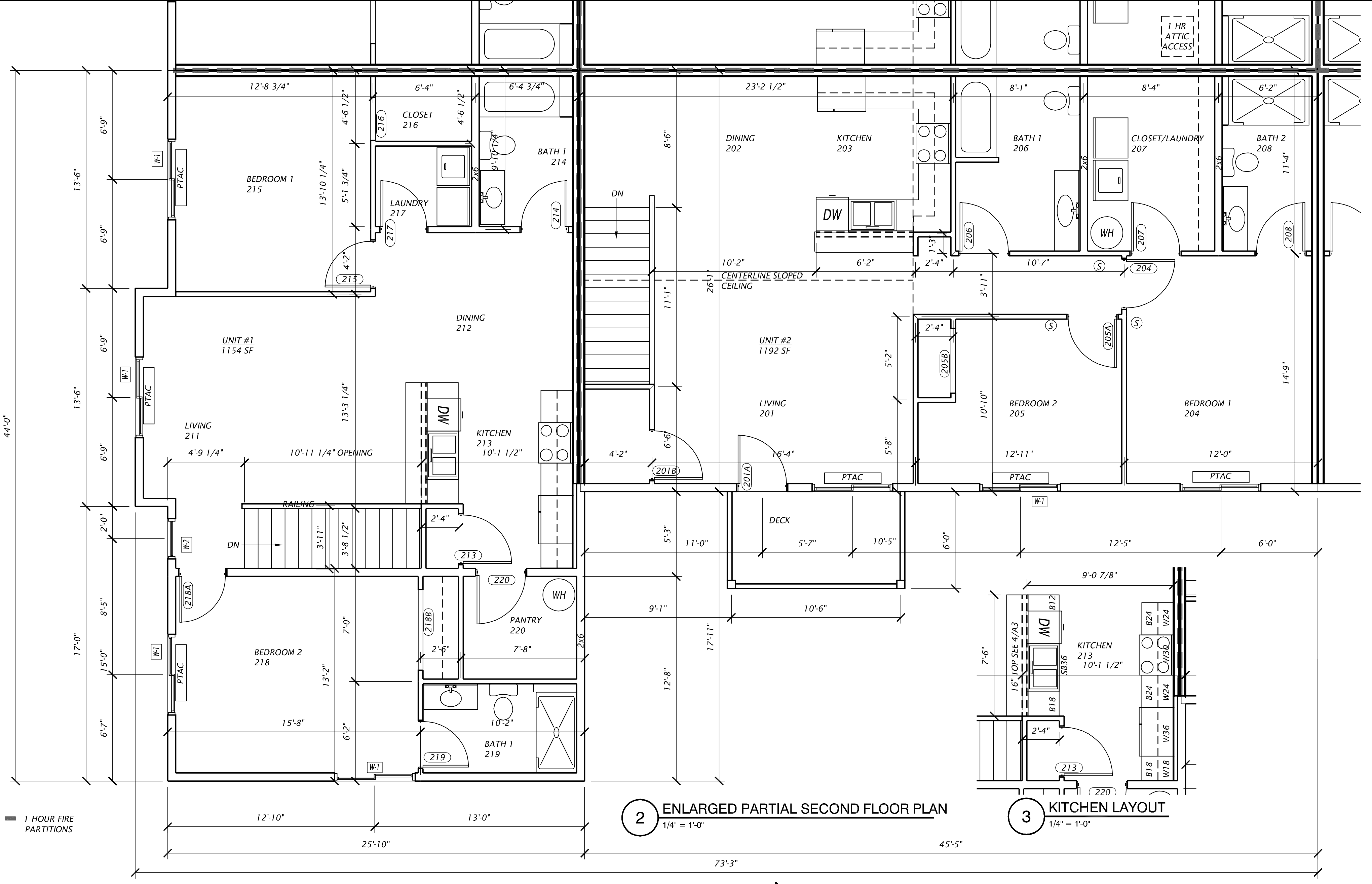
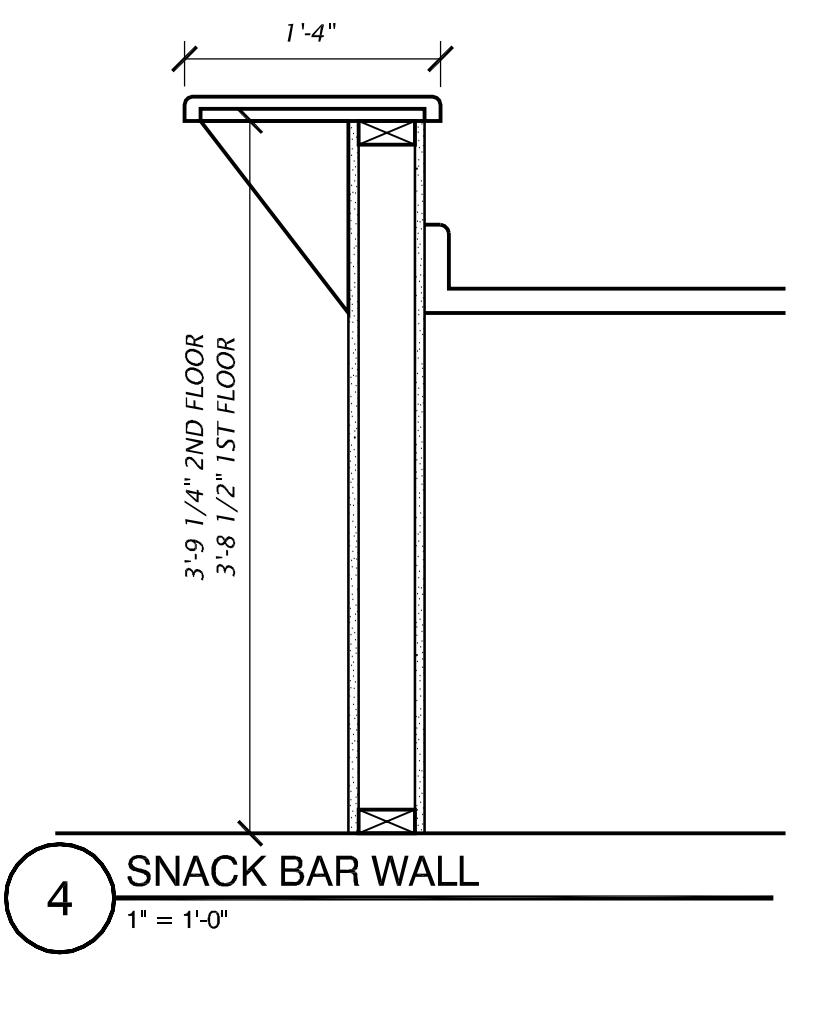
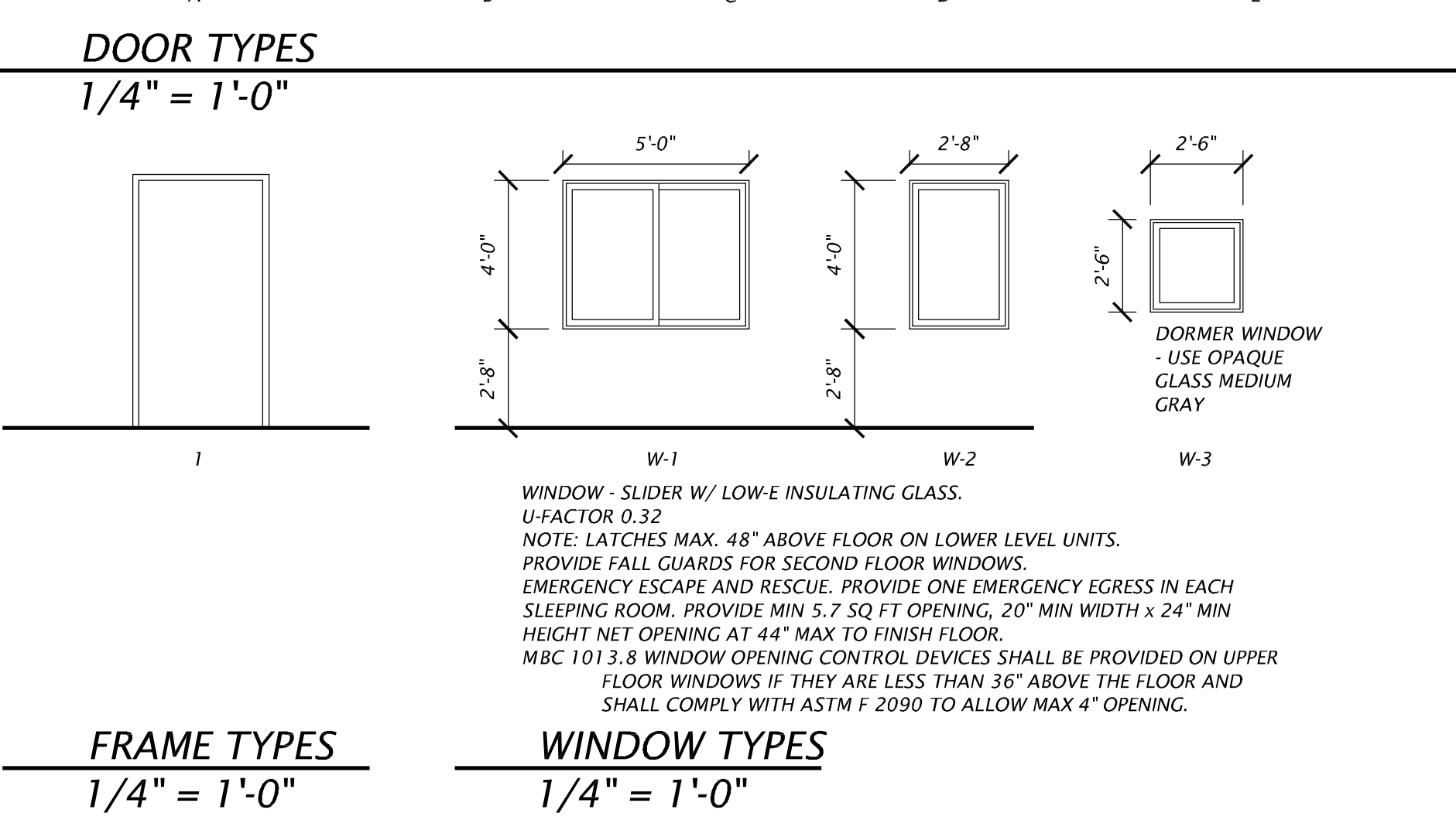
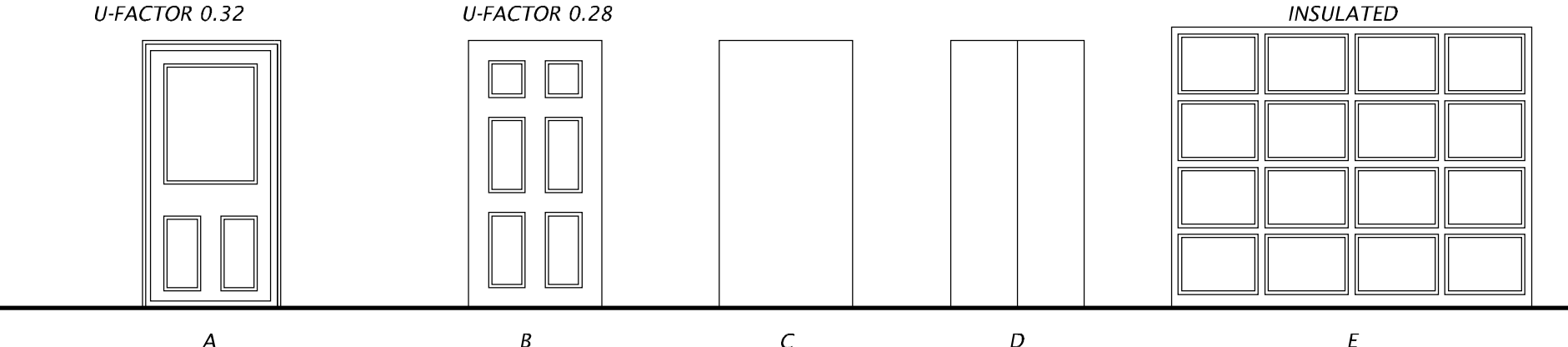
DOOR SCHEDULE (TO BE FINISHED BY GENERAL CONTRACTOR)							
NO.	DOOR	SIZE	MATERIAL	EL.	FRAME	HARDWARE	NOTES
101A	3'-0"x6'-8" 1 3/4"	WOOD	A	WOOD	1	(1)(2)(3)(4)(5)(6)(7)	PATIO DOOR
101B	3'-0"x6'-8" 1 3/4"	WOOD	B	WOOD			INSULATED
102A	3'-0"x6'-8" 1 3/4"	WOOD	B	WOOD			INSULATED, 20 MIN SELF CLOSING
102B	3'-0"x6'-8" 1 3/4"	WOOD	D	WOOD			BI-FOLD
104	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
105A	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
105B	3'-0"x6'-8" 1 3/4"	NA	NA	WOOD			CASED OPENING, NO DOOR
106	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
107	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
108	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
109A	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			INSULATED, 20 MIN SELF CLOSING
109B	3'-0"x6'-8" 1 3/4"	WOOD	F	WOOD			INSULATED OVERHEAD DOOR
110	9"x7"	METAL	F	NA			OVERHEAD DOOR
111	9"x7"	METAL	F	NA			OVERHEAD DOOR
112	9"x7"	METAL	F	NA			OVERHEAD DOOR
113A	3'-0"x6'-8" 1 3/4"	WOOD	B	WOOD			INSULATED
113B	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			INSULATED, 20 MIN SELF CLOSING
114	3'-0"x6'-8" 1 3/4"	WOOD	F	WOOD			INSULATED
201A	3'-0"x6'-8" 1 3/4"	WOOD	A	WOOD			PATIO DOOR
201B	3'-0"x6'-8" 1 3/4"	WOOD	B	WOOD			
204	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
205A	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
205B	3'-0"x6'-8" 1 3/4"	NA	NA	WOOD			CASED OPENING, NO DOOR
206	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
207A	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
208	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
213	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
214	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
215	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
216	3'-0"x6'-8" 1 3/4"	NA	NA	WOOD			CASED OPENING, NO DOOR
217	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
218A	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
218B	3'-0"x6'-8" 1 3/4"	NA	NA	WOOD			CASED OPENING, NO DOOR
219	3'-0"x6'-8" 1 3/4"	WOOD	C	WOOD			
220	DOOR TO BALCONY	WOOD	C	WOOD			

HARDWARE

1 HINGES	7 KEYED LOCKSET
2 WALLSTOP	8 PRIVACY LOCKSET
3 CLOSER	9 PASSAGE LOCKSET
4 PULL	
5 PUSH PLATE	
6 KICKPLATE	

NOTES:

- ALL LOCKSETS TO MEET BARRIER-FREE STANDARDS.
- ALL HARDWARE W/ LEVER HANDLES
- MATCH EXISTING DOORS, FRAMES & HARDWARE

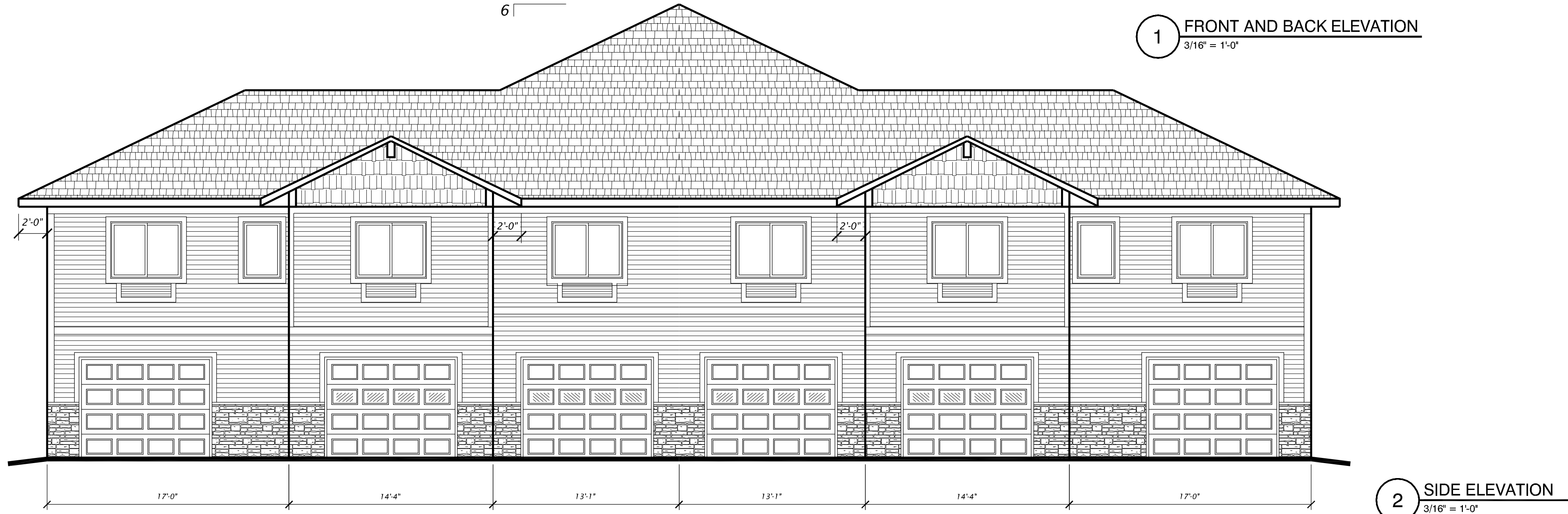
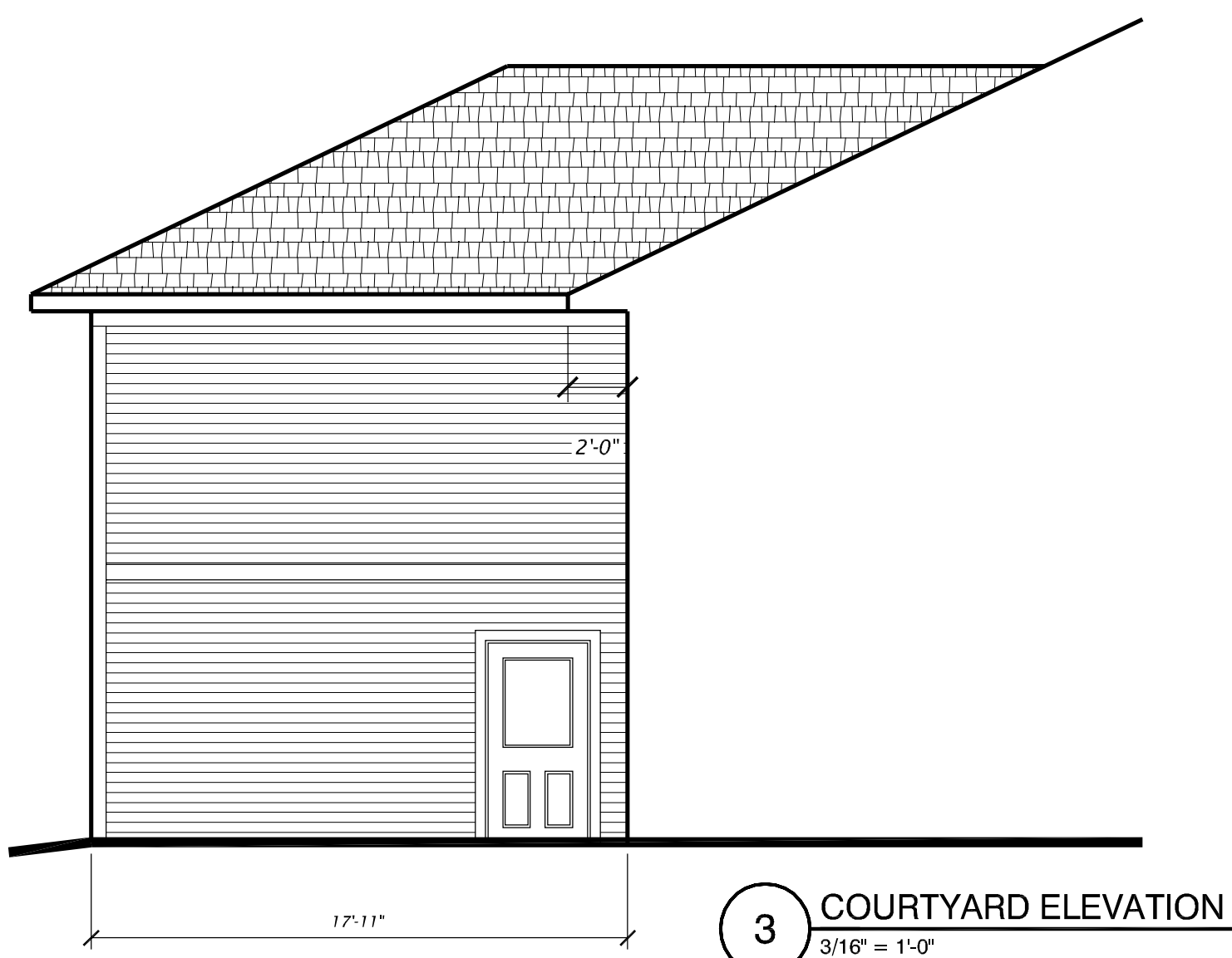
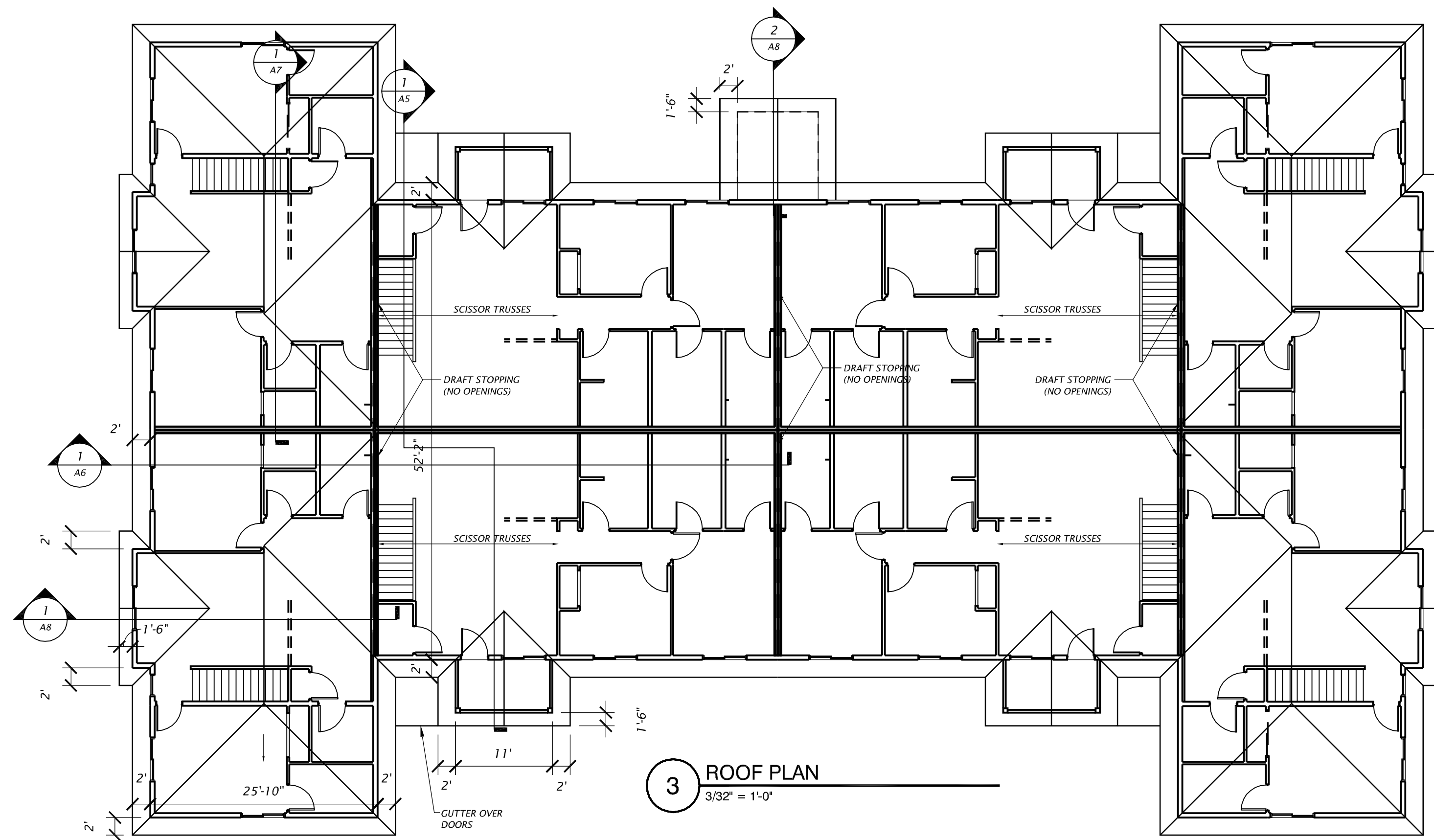


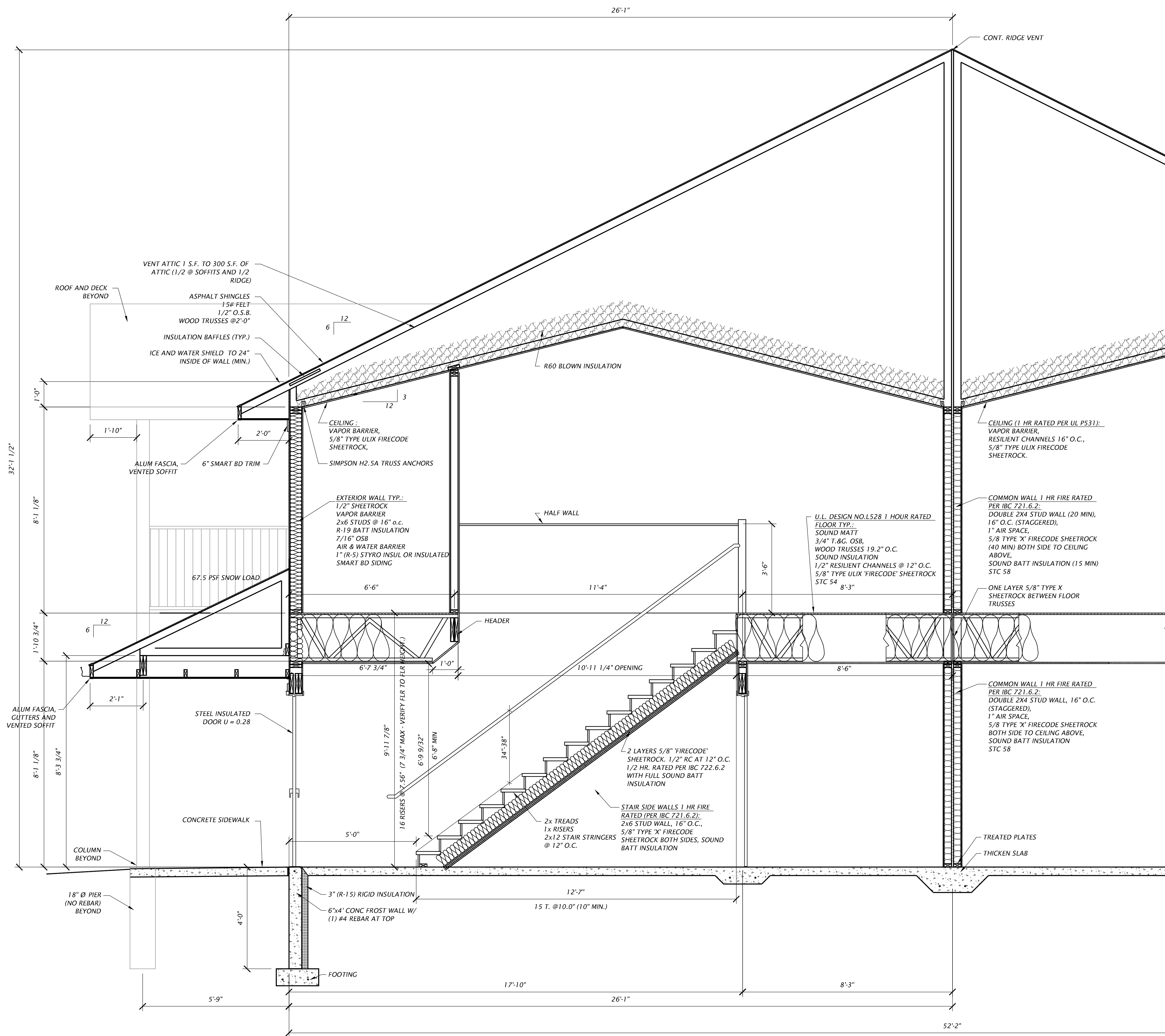
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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

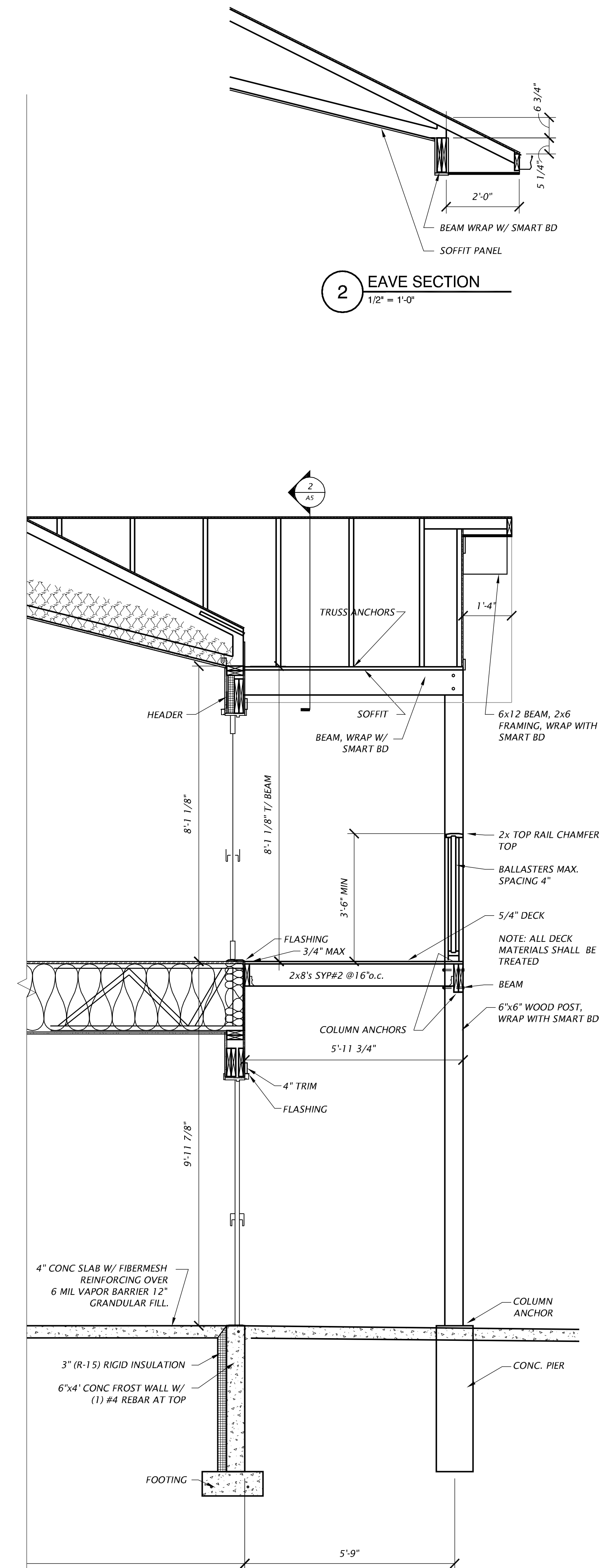
SECOND FLOOR PLANS
SCHEDULES

6-23-23
A3





1 WALL SECTION
1/2" = 1'-0"

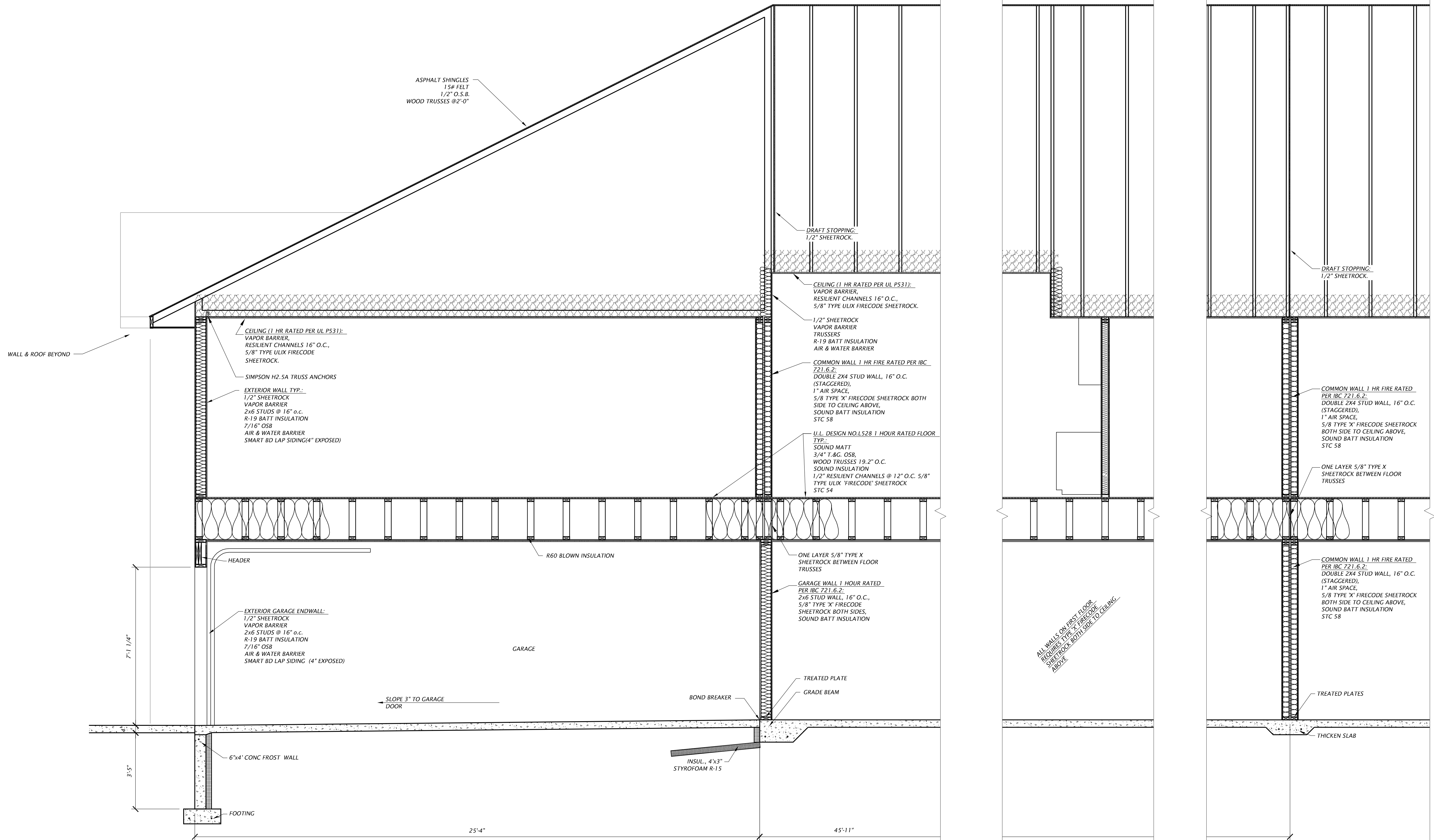


2 EAVE SECTION
1/2" = 1'-0"

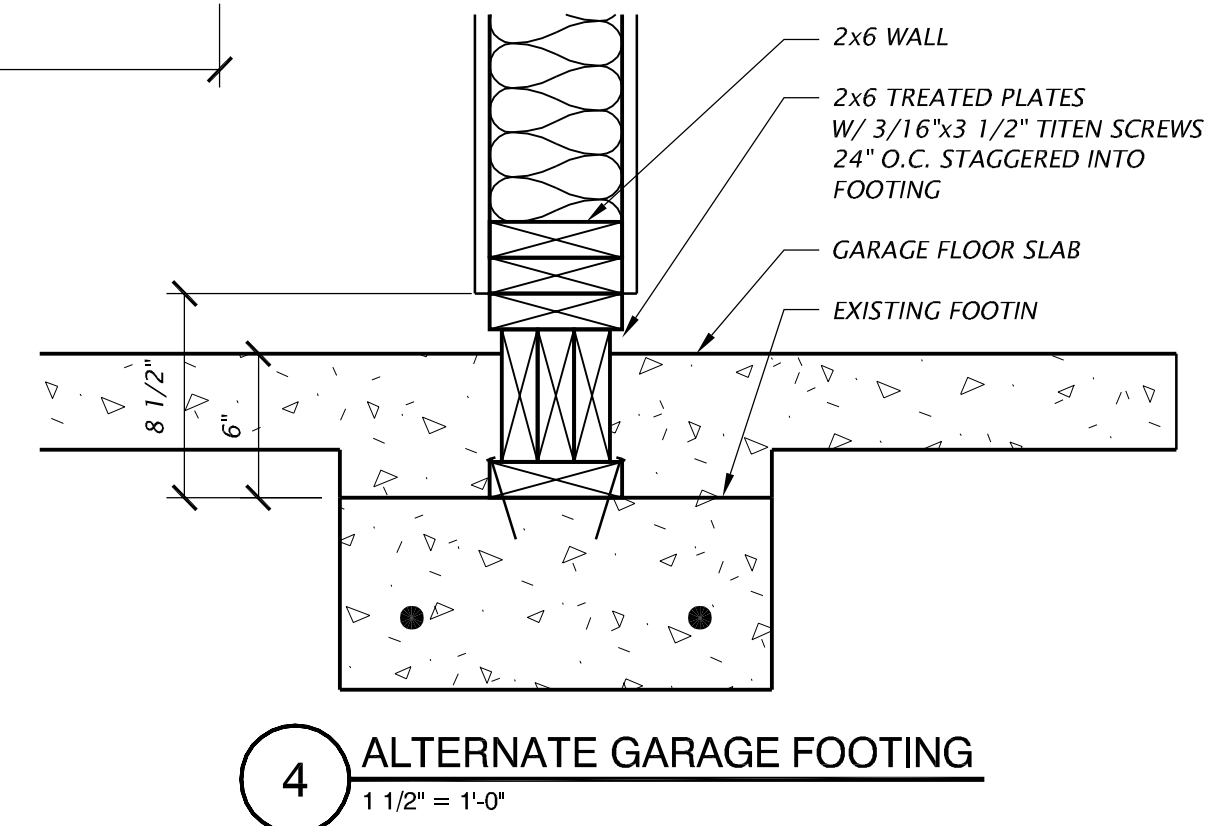
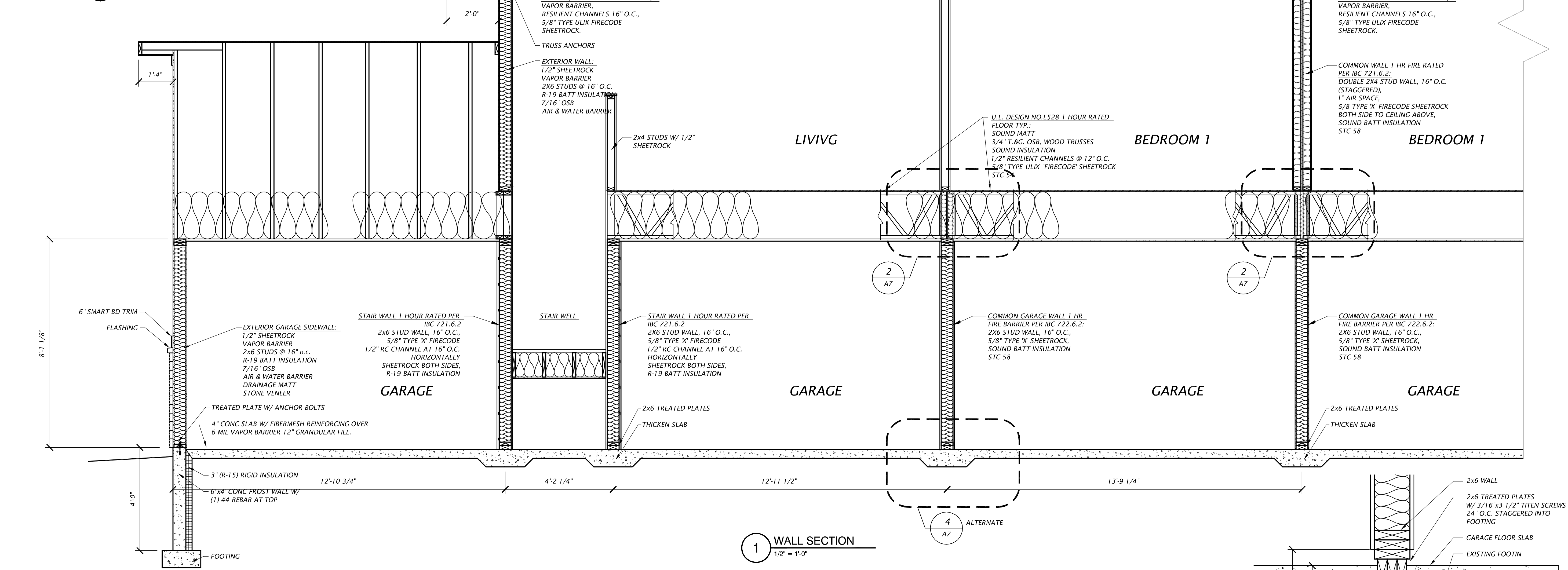
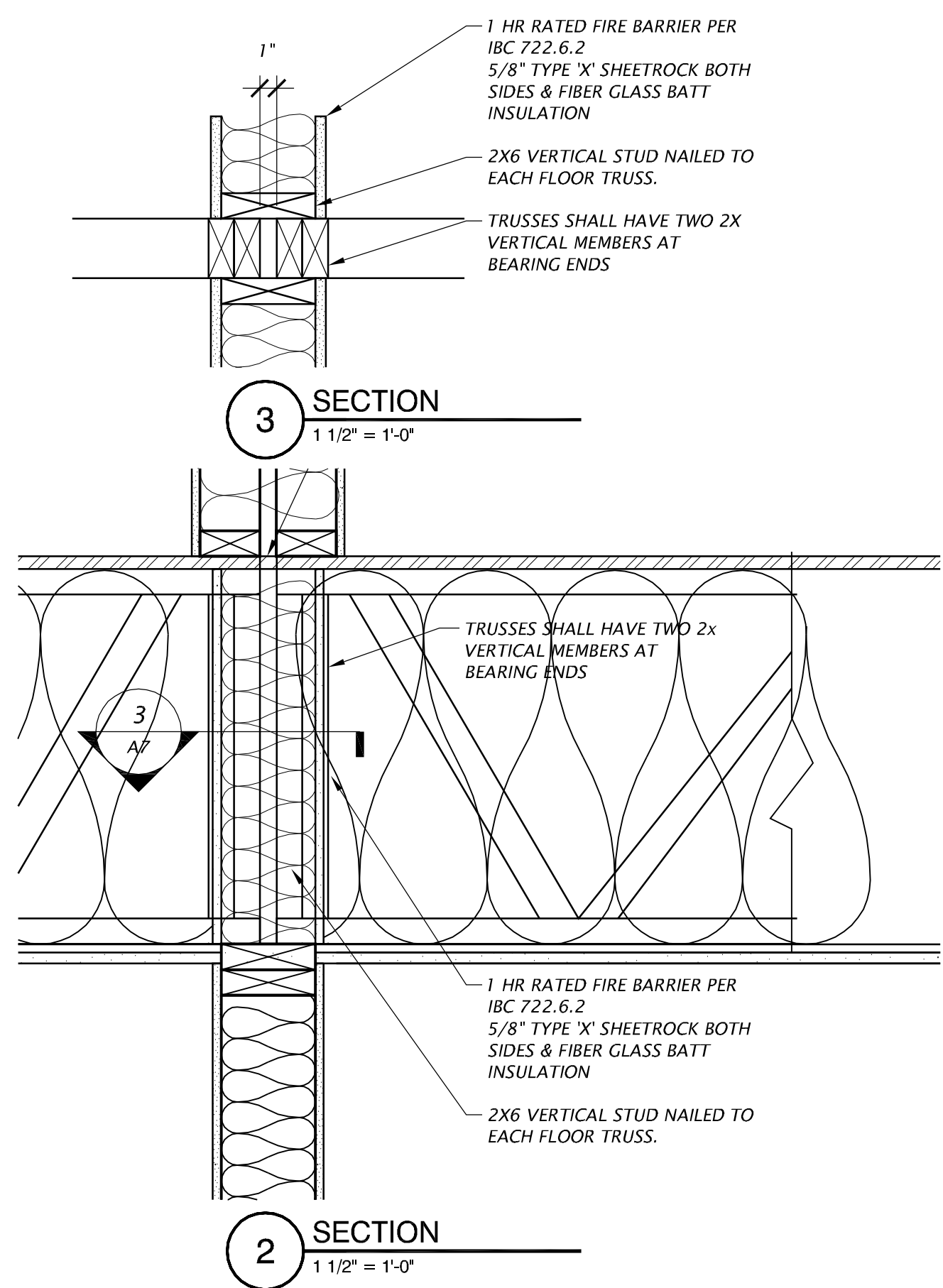
ROBERT D. JOHNSON ARCHITECT
5201 STONEWOOD DRIVE
EAU CLAIRE, WISCONSIN 54703
715.828.8330
RDJARCHITECT@GMAIL.COM

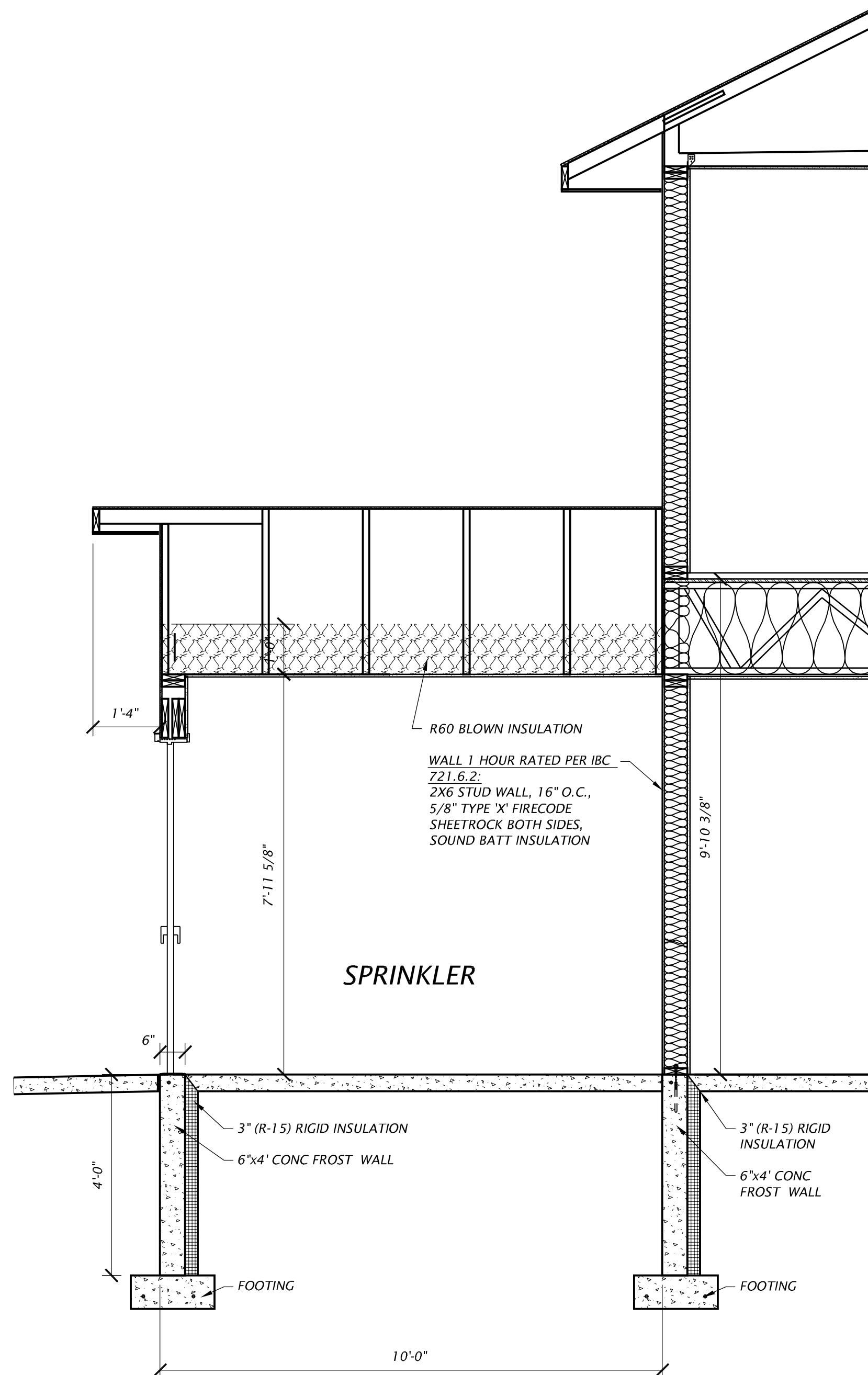
OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

WALL SECTIONS

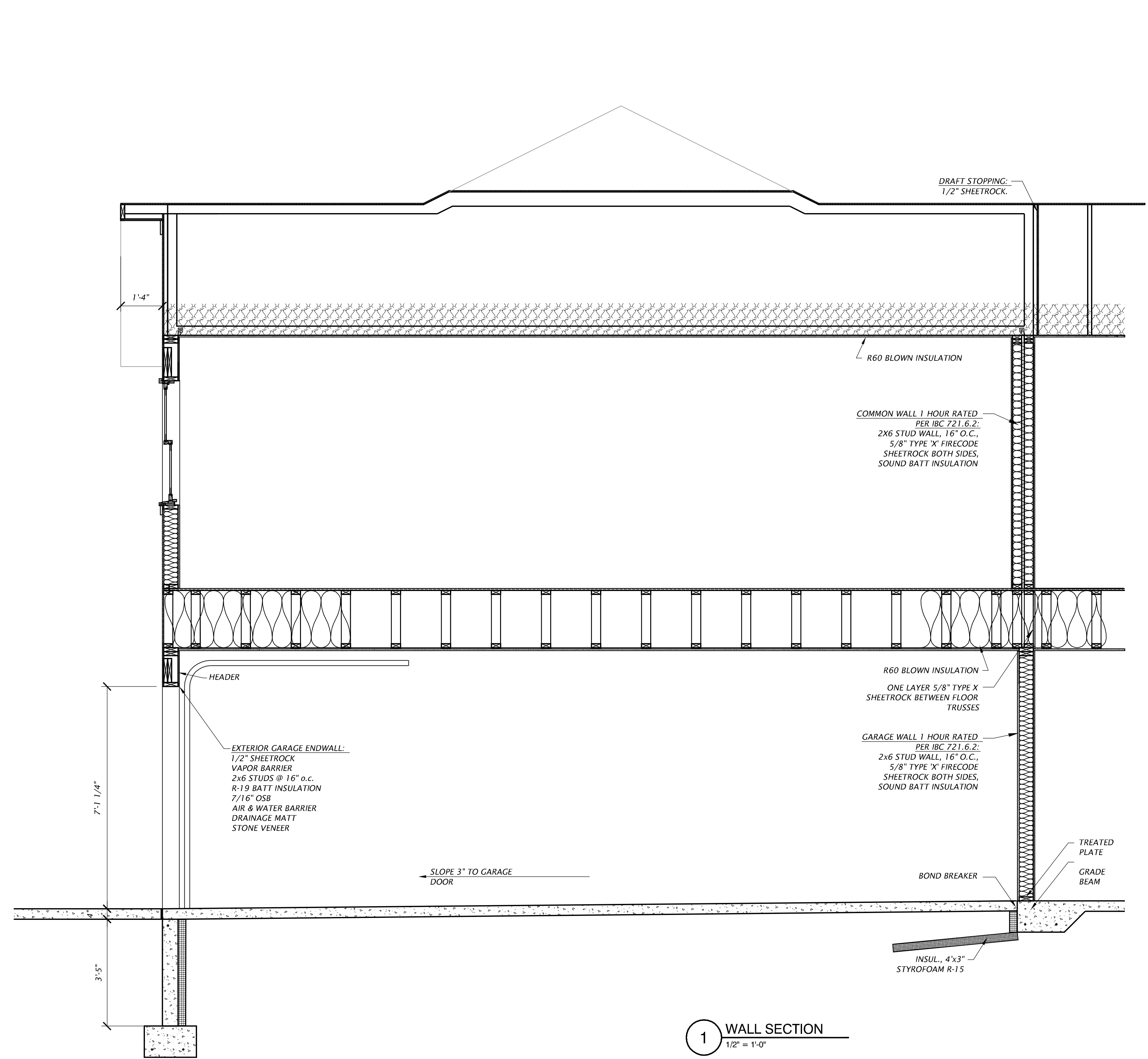


1 WALL SECTION
1/2" = 1'-0"

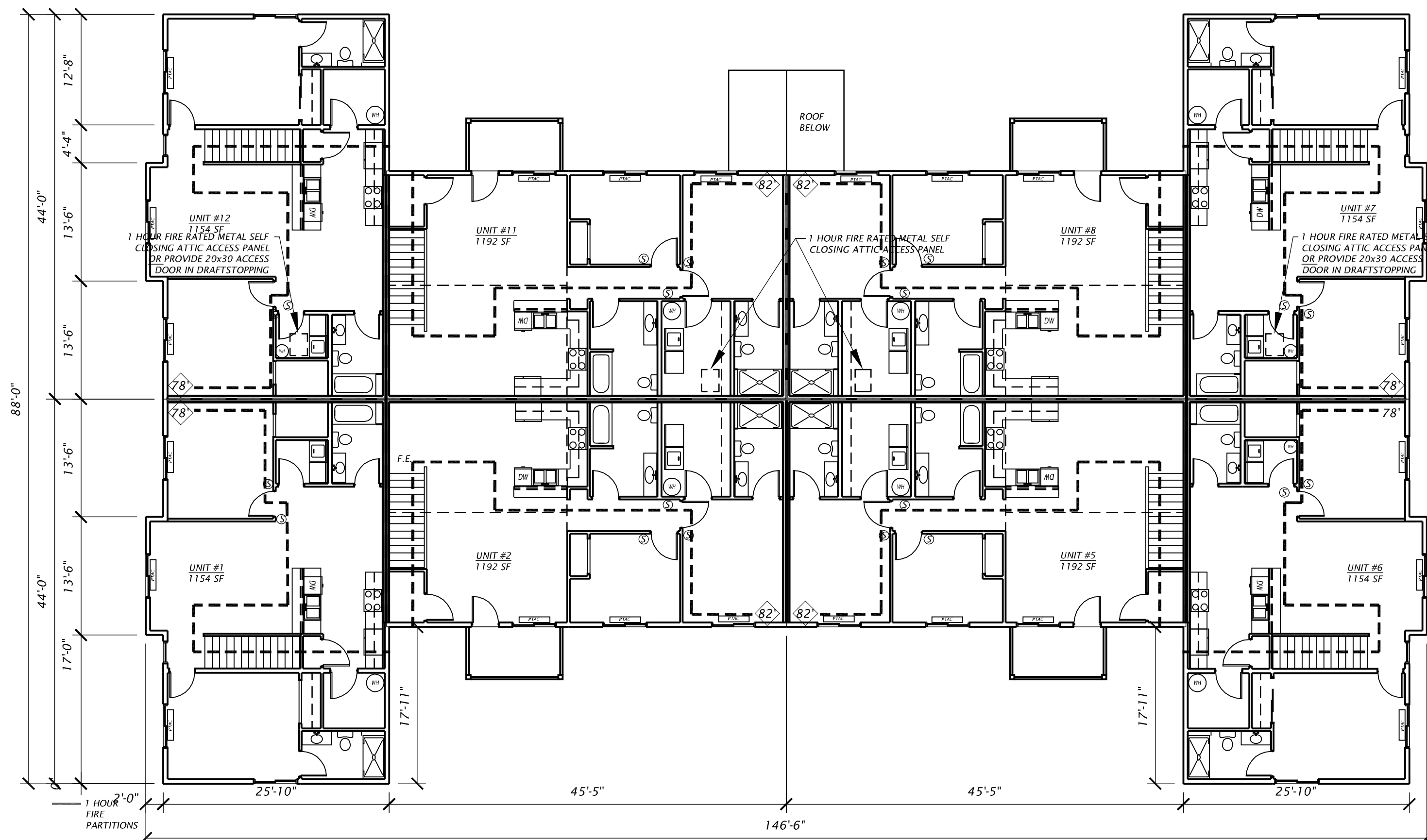




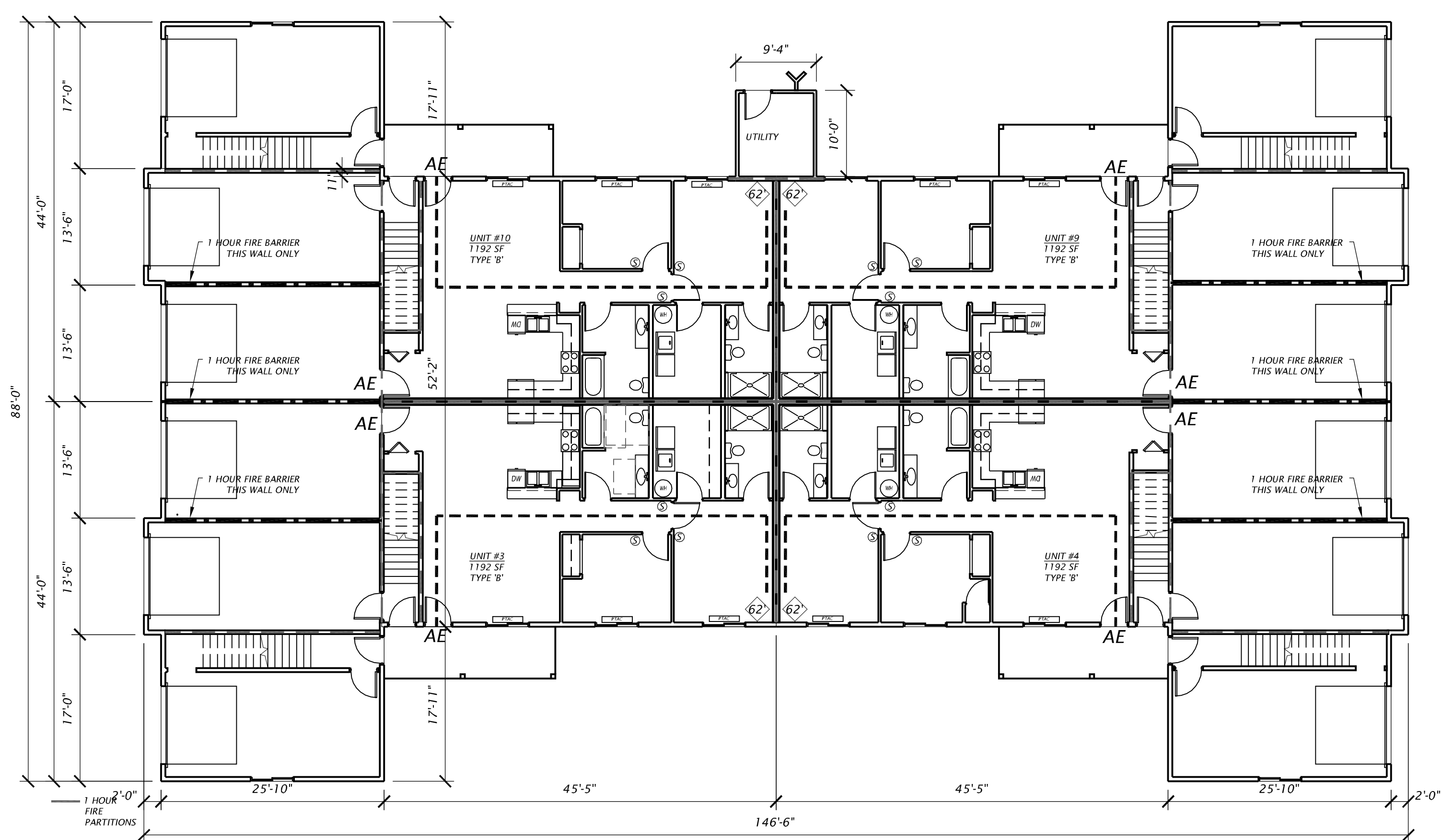
2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"



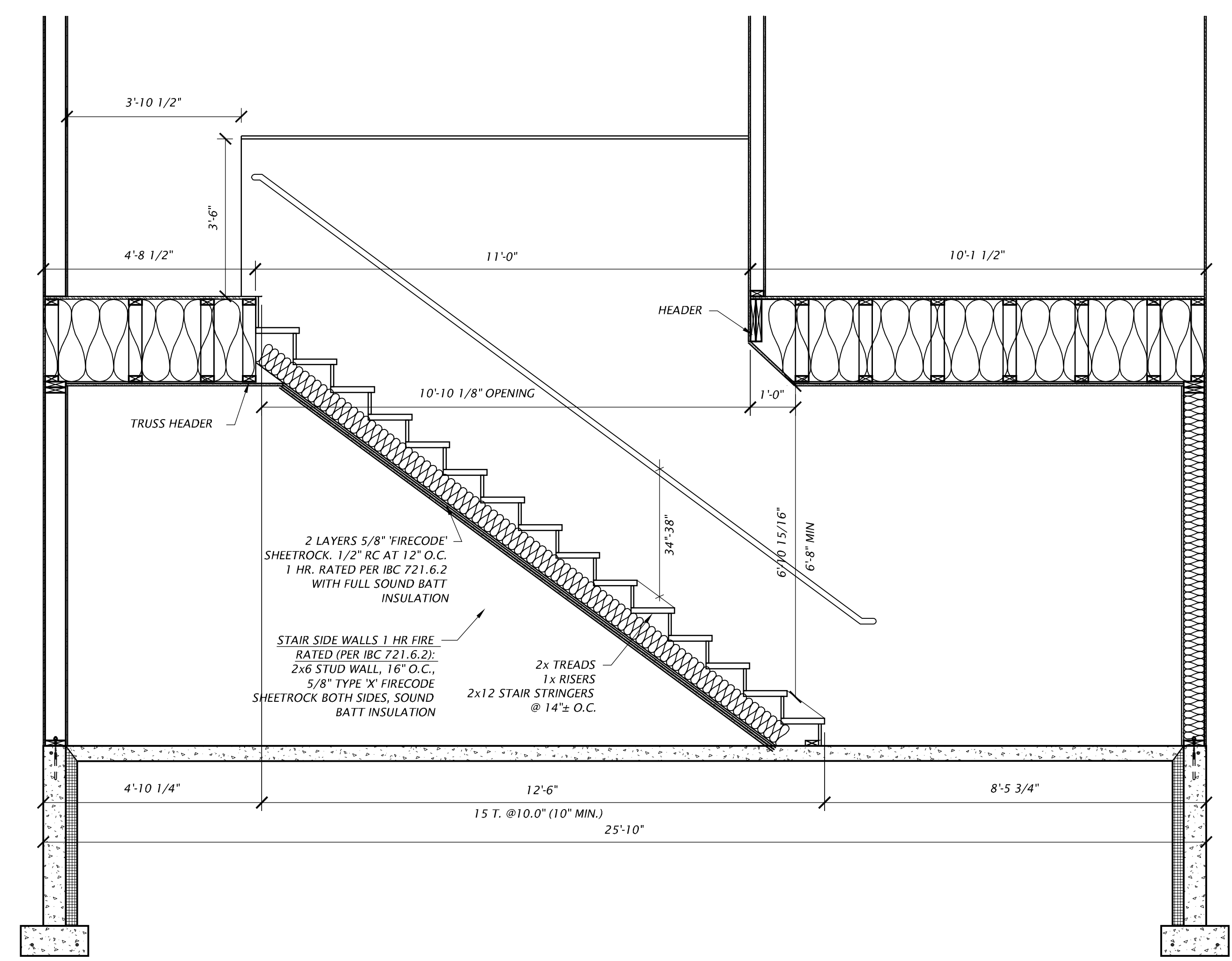
2 SECOND FLOOR LIFE SAFETY PLAN
3/32" = 1'-0"



1 GROUND FLOOR LIFE SAFETY PLAN
3/32" = 1'-0"

- LIFE SAFETY:**
- 1 HOUR RATED FIRE PARTITION (ALL FLOORS AND CEILINGS 1 HR FIRE RATED)
 - PATH OF EXIT TRAVEL
 - ◇ FT EXIT ACCESS TRAVEL DISTANCE (MAXIMUM 125')
 - Ⓢ SMOKE DETECTORS
 - AE ACCESSIBLE ENTRANCE
 - Y FIRE DEPARTMENT CONNECTION

NOTES:
1) OCCUPANCY R-2, CONSTRUCTION TYPE VB
2) EXIT SIGN AND LIGHTING ALONG WITH FIRE ALARMS ARE NOT REQUIRED.
3) PROVIDE CARBON MONOXIDE DETECTORS AS PER MBC CODES



3 STAIR SECTION
1/2" = 1'-0"

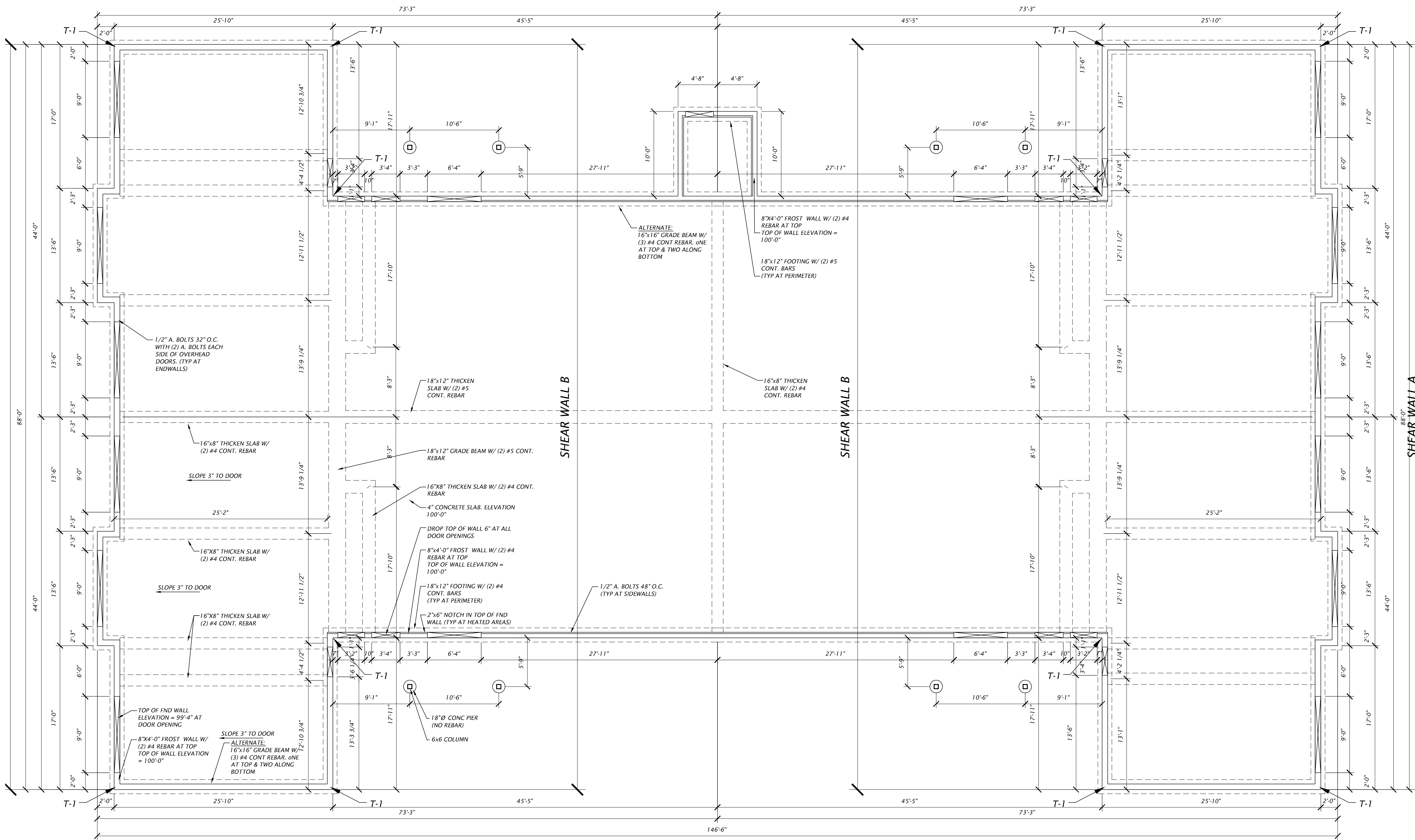
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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

STAIR SECTION & LIFE SAFETY PLANS



DIMENSIONS ARE TO OUTSIDE OF FND WALLS OR CENTERLINE OF INTERIOR BEARING WALLS.



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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

FOUNDATION PLAN

6-23-23
SI

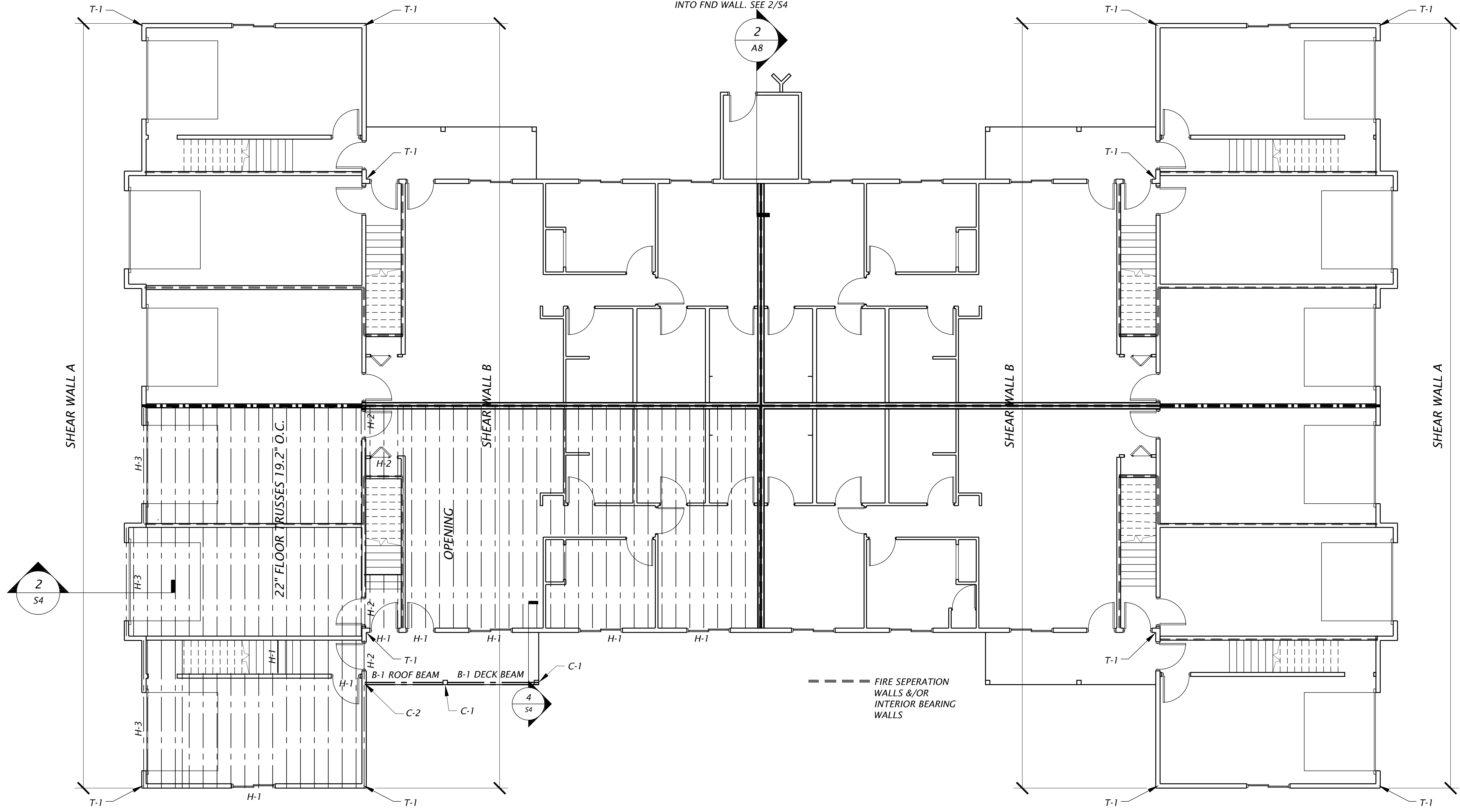
1 FOUNDATION PLAN
3/16" = 1'-0"

SHEAR WALL A:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 SECOND FLOOR BOTTOM PLATE TO RIM USE 16d NAILS AT 12" O.C.
 1ST FLOOR BOTTOM PLATE TO FND USE 1/2" Ø A. BOLTS AT 4'-0" O.C.
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4
 T-2 USE SIMPSON MSTC40 STRAP WITH (18) 16D NAILS EACH END. SEE DETAIL 3/S4

SHEAR WALL B:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 2ND FLOOR USE 5/8" TYPE 'X' SHEETROCK WITH 6d WALL BOARD NAILS 7" O.C.
 2ND FLOOR BOTTOM PLATE TO FLOOR TRUSS OR RIM JOIST USE 16d NAILS 12" O.C.
 T-2 USE SIMPSON MSTC40 STRAP WITH (18) 16d NAILS EACH END. SEE DETAIL 3/S4
 1ST FLOOR USE 5/8" TYPE 'X' SHEETROCK WITH WALL BOARD NAILS 7" O.C.
 1ST FLOOR BOTTOM PLATE TO FND USE 1/2" Ø A. BOLTS OR 1/2"x5" TITAN HD SCREW ANCHORS AT 4'-0" O.C.
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4

STRUCTURAL MEMBER SCHEDULE
 B-1 (2) PLY 2x12 SPF #2
 H-1 (3) PLY 2x10 SPF #2, (2) STUD BEARING
 H-2 (2) PLY 2x10 SPF #2, (2) STUD BEARING
 H-3 (3) PLY 1 3/4"x9 1/4" LVL 1.8E, (2) STUD BEARING
 C-1 6x6 SYP #2 TREATED
 C-2 (2) PLY 2x6 SPF #2

TIE DOWNS:
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4
 T-2 USE SIMPSON MSTC40 STRAP WITH (10) 16d NAILS EACH END. SEE DETAIL 3/S4



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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

FLOOR FRAMING PLAN

6-23-23
 52

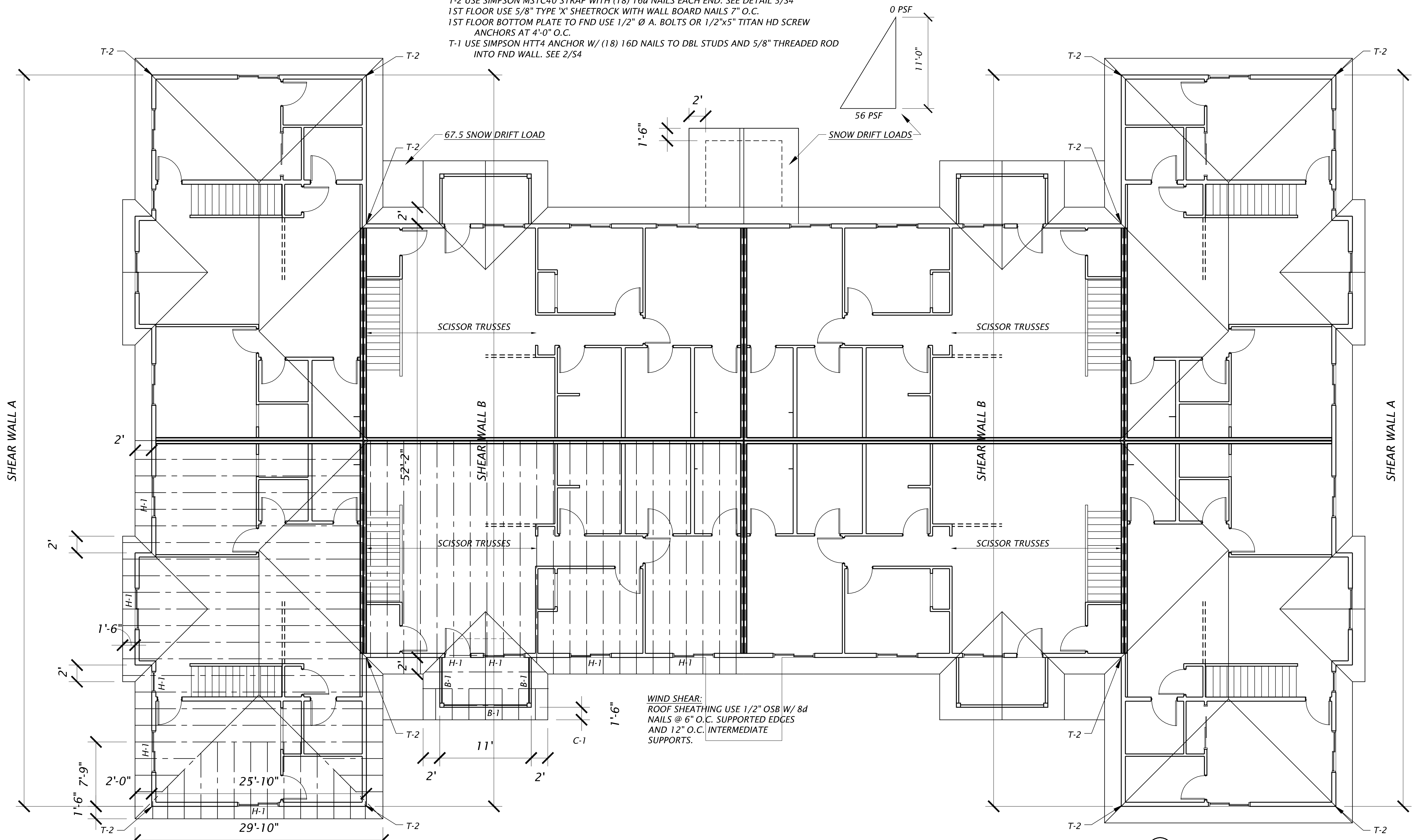
1 FLOOR FRAMING PLAN
 3/16" = 1'-0"

SHEAR WALL A:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 SECOND FLOOR BOTTOM PLATE TO RIM USE 16d NAILS AT 12" O.C.
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SHEAR WALL B:
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STRUCTURAL MEMBER SCHEDULE
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 H-1 (3) PLY 2x10 SPF #2, (2) STUD BEARING
 H-2 (2) PLY 2x10 SPF #2, (2) STUD BEARING
 H-3 (3) PLY 1 3/4"x9 1/4" LVL 1.8E, (2) STUD BEARING
 C-1 6x6 SYP #2 TREATED
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TIE DOWNS:
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 T-2 USE SIMPSON MSTC40 STRAP WITH (10) 16d NAILS EACH END. SEE DETAIL 3/S4



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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

ROOF FRAMING PLAN

1 ROOF FRAMING PLAN
 3/16" = 1'-0"

STRUCTURAL GENERAL NOTES:

- THE FOLLOWING GENERAL NOTES FOR THIS PROJECT SHALL APPLY TO ALL CONTRACTORS & SUPPLIERS INVOLVED IN EXECUTION OF THE WORK SHOWN ON THESE DOCUMENTS. THESE NOTES ARE TO BE INCLUDED WITH ALL DRAWINGS, SPECIFICATIONS, ADDENDA, BULLETINS, AND PROJECT SUPPLEMENTS AS THE ENTIRE SET OF CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - PLANS AND SPECIFICATIONS
 - GOVERNING STATE, LOCAL AND MUNICIPAL CODES, 2015 INTERNATIONAL BUILDING CODE (IBC)
 - AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
 - OCCUPATIONAL SAFETY AND HEALTH (OSHA)

CONCRETE CONSTRUCTION:
 - AMERICAN CONCRETE INSTITUTE (ACI)
 MASONRY CONSTRUCTION:
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - THE MASONRY SOCIETY (TMS)
 STRUCTURAL ENGINEERING INSTITUTE (SEI)
 - INTERNATIONAL MASONRY INSTITUTE (IMI)
 STRUCTURAL AND MISCELLANEOUS STEEL WORK:
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
 - AMERICAN WELDING SOCIETY (AWS)
 - SOCIETY FOR PROTECTIVE COATINGS (SSPC)
 STEEL JOISTS, STEEL DECK AND ACCESSORIES:
 - STEEL JOIST INSTITUTE (SJI)
 - STEEL DECK INSTITUTE (SDI)
 COLD FORMED METAL FRAMING:
 - AMERICAN IRON AND STEEL INSTITUTE (AISI)

CONTRACTOR MUST BE FAMILIAR WITH ALL OF THE ITEMS ABOVE. ARCHITECT AND/OR ENGINEER OBSERVATIONS/INVESTIGATIONS WILL BE IN CONFORMANCE WITH THE ABOVE.

- SEE ARCHITECTURAL, CIVIL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SECTIONS OR NOTES CALLED OUT ON PLAN SHALL APPLY TO ALL SIMILAR LOCATIONS ON THE BUILDING U.N.O..

5. DESIGN DATA:

DEAD LOADS:
 ROOF DEAD LOAD.....17 PSF
 FLOOR DEAD LOAD.....15 PSF

ROOF LIVE LOADS:
 GROUND SNOW LOAD (PG).....50 PSF
 EXPOSURE FACTOR (CE).....1.0
 THERMAL FACTOR (CT).....1.1
 IMPORTANCE FACTOR (IS).....1.0
 TYPICAL ROOF DESIGN LOAD (PF).....38.5 PSF

FLOOR / MEZZANINE LIVE LOADS:
 FLOOR.....40 PSF
 INTERIOR PARTITIONS.....15 PSF

STAIRS.....40 PSF

WIND LOADS:
 BASIC WIND SPEED (3-SECOND GUST).....115 MPH
 IMPORTANCE FACTOR (IW).....1.0
 BUILDING CLASSIFICATION.....CATEGORY II
 WIND EXPOSURE CATEGORY.....B
 INTERNAL PRESSURE COEFFICIENT (GCPI).....±0.18

SEISMIC LOADS:
 SEISMIC USE GROUP.....GROUP 1
 SEISMIC DESIGN CATEGORY.....B
 S1 = 3.1%
 S2 = 6.2%

SITE CLASS.....D (ASSUMED)

SEISMIC FORCE RESISTING SYSTEM:
 LIGHT FRAME WALLS W/ SHEAR PANELS
 RESPONSE MODIFICATION FACTOR.....R = 2
 DEFLECTION AMPLIFICATION FACTOR.....CD = 2
 STRUCTURAL SYSTEM & BUILDING HEIGHT LIMITATIONS.....NL
 BASE SHEAR (CS = 0.070).....0.070 W KIPS

ANALYSIS PROCEDURE:
 EQUIVALENT LATERAL FORCE ANALYSIS PER IBC 1617.4

6. DESIGN CRITERIA

SOIL DESIGN BEARING PRESSURE.....3,000 PSF
 CONCRETE: (NORMAL WEIGHT U.N.O.)
 CONVENTIONAL COLUMN & WALL FOOTINGS, SIDEWALKS.....F'c = 3,000 PSI
 SLAB ON GRADE, ELEVATED SLABS, WALLS, GRADE BEAMS.....F'c = 4,000 PSI
 MASONRY: (NORMAL WEIGHT U.N.O.)
 CONCRETE MASONRY UNITS - ASTM C-90.....F'm = 1,500 PSI
 MORTAR - ASTM C270 TYPE S.....1,800 PSI
 GROUT, BLOCK CORE FILL.....2,000 PSI

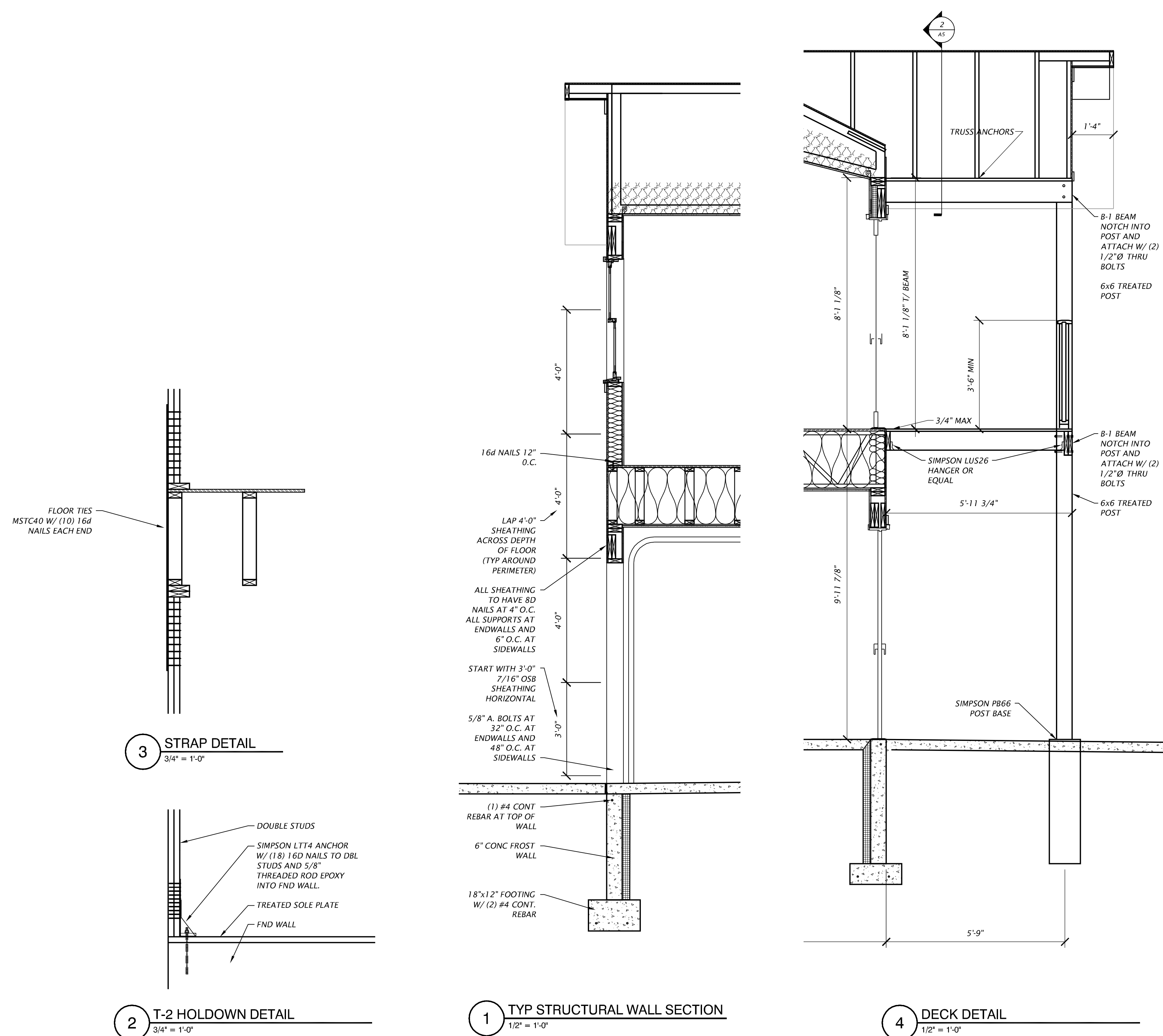
- EXECUTION: CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, SECTIONS, AND DETAILS BETWEEN ARCHITECTURAL, MECHANICAL, AND STRUCTURAL DRAWINGS. ARCHITECT AND STRUCTURAL ENGINEER SHALL BE NOTIFIED OF ANY VARIANCE THAT WILL AFFECT THE BUILDING'S STRUCTURE BEFORE CONTRACTOR BEGINS WORK. ALL EQUIPMENT SUPPORTS AND ANCHORAGES SHALL BE VERIFIED WITH MANUFACTURER'S DRAWINGS. CONTRACTORS SHALL VERIFY ALL PROFILES, HEIGHTS AND DIMENSIONS AT PROJECT SITE PRIOR TO FABRICATION OF ANY MATERIAL AND INFORM THE ARCHITECT, STRUCTURAL, OR MECHANICAL ENGINEER OF ANY DISCREPANCIES OR FRAMING INTERFERENCES.

- SHOP DRAWINGS: GENERAL CONTRACTOR SHALL REVIEW & STAMP SHOP DRAWINGS BEFORE SUBMITTAL TO ENGINEER. FABRICATION SHALL NOT PROCEED PRIOR TO APPROVAL. ALL SHOP DRAWINGS SHALL CONTAIN THE ORIGINAL ISSUANCE DATE OF THE COMPLETED CONSTRUCTION DOCUMENTS, ALONG WITH ANY ADDENDA, REVISIONS, BULLETINS, OR SUPPLEMENTS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR THE FOLLOWING COMPONENTS:

- SOIL BEARING TEST
- CONCRETE MIX DESIGNS
- STRUCTURAL MASONRY COMPRESSIVE STRENGTH REPORTS
- REINFORCING STEEL
- STRUCTURAL STEEL
- STEEL JOISTS AND GIRDERS
- STEEL DECKING
- METAL FABRICATIONS
- COLD FORMED METAL FRAMING
- PRECAST CONCRETE

- CONSTRUCTION LOADS ARE TYPICALLY ANTICIPATED TO BE 25 PSF. AT NO TIME SHALL CONSTRUCTION LOADS EXCEED DESIGN LOADS LISTED IN DESIGN DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING CONSTRUCTION EQUIPMENT LOADS PRIOR TO USE ON ANY STRUCTURAL COMPONENT OF THE BUILDING. CONCRETE SLABS SHALL BE AT 75% OF ITS DESIGN STRENGTH (7 DAY CURE TIME MINIMUM) BEFORE SUPPORTING ANY EQUIPMENT.

- CONNECTIONS FOR SUPPORT OF ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS TO STRUCTURAL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH DETAILS SHOWN ON ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. HANG ALL EQUIPMENT FROM JOIST TOP CHORD. HANG ALL PIPING LARGER THAN 2" DIA. FROM JOIST TOP CHORD AND ALL PRIMARY PIPING GREATER THAN 6" FROM TWO JOISTS (FROM TOP CHORDS). ALL SECONDARY PIPING, DUCTWORK, ELECTRICAL AND CEILING MAY BE HUNG FROM JOIST BOTTOM CHORD.



To: Planning Commission

From: Devin Swanberg

RE: Recreation Plan

Date: August 31, 2023

The village is currently working with MSA to get a quote to do a recreation plan for our village parks. In order to be considered for any DNR grants a recreation plan must be completed. This plan will take into account village board, planning commission, other boards and public input. The recreation plan will layout future for our parks including Oakey. While we are in the early stages of the process, I want to bring the commission up to date of what plans we have the future Osceola and how we are moving forward. I will answer any questions you have on this topic and can be reached at

Administrator@vil.osceola.wi.us

To: Planning Commission

From: Devin Swanberg

RE: Fair Building

Date: August 31, 2023

Commission members, in the last meeting we discussed the location of the fair building and where the future location of the building should be. The following pages are attachments that include a drawing with location with the building moved and what a future layout might look like. Currently where the building is it does not conform with setbacks, and we would have to look at moving the building site to conform with the proper setbacks. The other attachments are drawings from 2016 with the building and layout in the current area and the lease that was passed in 2000. There will be more information at the meeting to discuss these attachments are to give background information. Please feel free to call or email me at administrator@vil.osceola.wi.us

PLOTTED: 8/23/2023 12:14:44 PM
 MODIFIED: 8/23/2023 12:12:37 PM

USER: BHEINRICH

S:\OSCEOLA_VILLAGE OF OSCEOLA FAIRGROUND BUILDING\DWG\SHEETS\203-23-000_FIG 1.DWG



NOT FOR CONSTRUCTION

NO	DATE	BY	DESCRIPTION	NO	DATE	BY	DESCRIPTION
REVISIONS				REVISIONS			

DESIGNED BY BRH	 PLANS PREPARED BY: STEVENS ENGINEERS, INC. 642 BRAKKE DRIVE, SUITE 202 HUDSON, WISCONSIN 54016 PHONE: 1.715.386.5819 www.stevensengineers.com
DRAWN BY BRH	
APPROVED BY ARP	

PLANS PREPARED FOR: VILLAGE OF OSCEOLA WISCONSIN

PROJECT NO 203-23-000
DATE 08/23/2023

FAIRGROUND BUILDING VILLAGE OF OSCEOLA, WISCONSIN PROPOSED SITE LAYOUT

FIG 1
1 OF 1

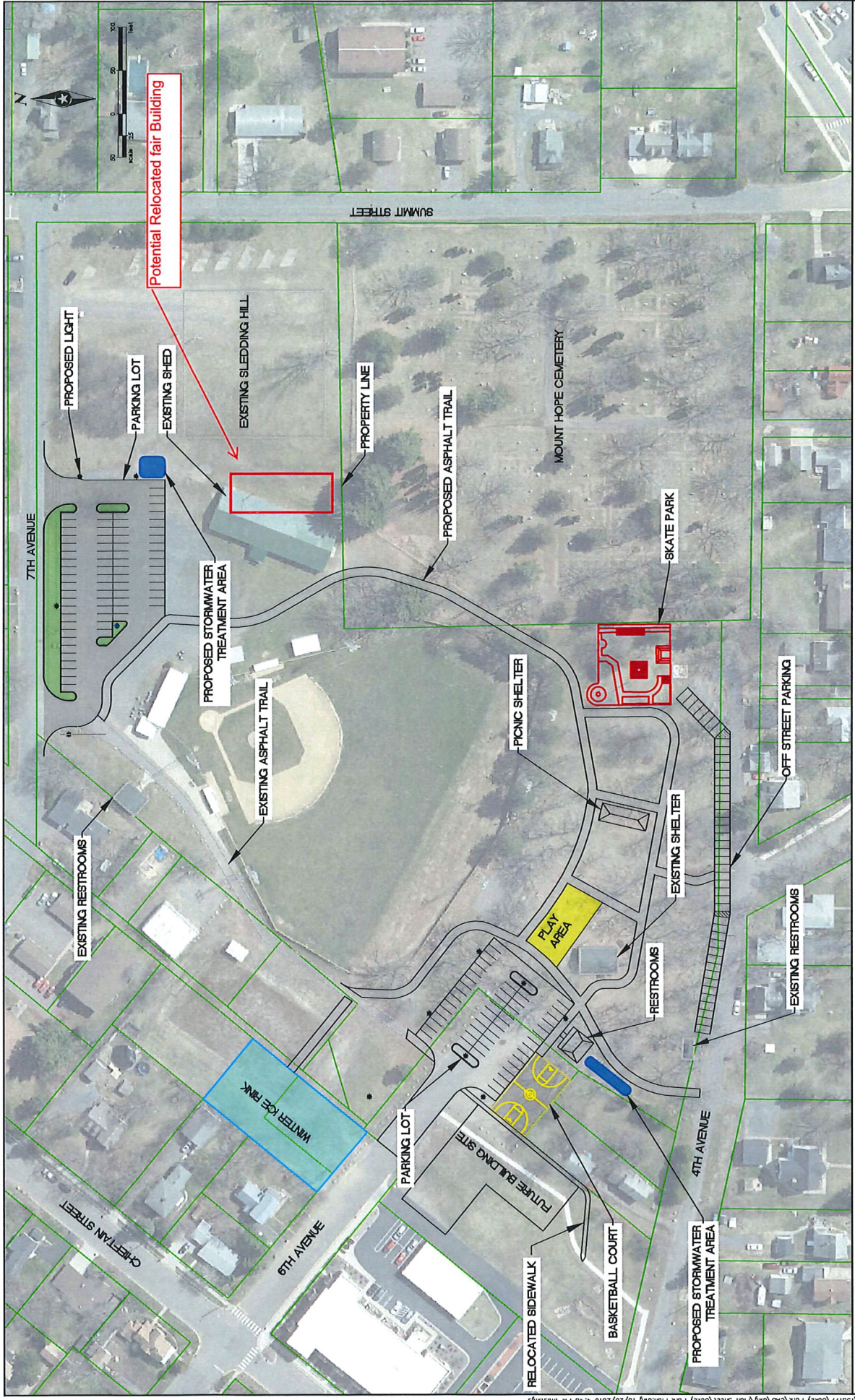


Memo

To: Plan Commission Members
From: Joel B. West, Village Administrator
CC: File
Date: August 3, 2018
Re: Fair Board Building – Oakey Park

Scott Tinney from the Osceola Fair Board requested to be on the agenda to discuss the Fair Building. I have attached the latest concept plan for Oakey Park to facilitate the discussion.

- Raised ~~\$22,500~~ \$65,000 - Need - \$205,000
- Need \$65,000 to complete funding for the building
- 6 years to 100th Anniversary
- ⊕ - Depth of sewer for bathrooms
- Fair rents spread out in the summer



FILE NO.	OSCEOLA-138177	CONCEPT PLAN	1
DATE	10/27/2016	OAKLEY PARK	1
		OSCEOLA, WISCONSIN	
PHONE: 715.246.9906 FAX: 715.246.9907 300 EAST 3RD STREET NEW RICHMOND, WI 54077 www.seh.com			
DESIGNED BY:	JRH	REVISIONS	
CHECKED BY:			
DESIGN TEAM			
NO.	BY	DATE	

P:\0\0\osceola\138177\Oakley Park\CD\Eng\Plan Sheet\Oakley Park Flooding 10/26/2016 4:48 PM.dwg

C.T.

**FAIRGROUND LEASE
VILLAGE OF OSCEOLA
AND
OSCEOLA COMMUNITY FAIR CORPORATION**

WHEREAS, annually a community fair is held in Oakey Park in the Village of Osceola, operated by Osceola Community Fair Corporation (hereinafter "Community Fair"); and

WHEREAS, the Village of Osceola (hereinafter the "Village") owns Oakey Park and has, on a long standing, informal basis, made the park and its facilities available to Community Fair for the holding: of the annual fair; and

WHEREAS, it is desirable that certain components of the working relationship between the Village and Community Fair be formalized so that each party has an understanding of the rights and responsibilities of one another; and

WHEREAS, the annual fair is of benefit to the citizens of the Village and it is desired that the relationship continued into the future.

NOW, THEREFORE, THIS AGREEMENT:

1. **Description of Real Estate Subject to Agreement.** This Agreement shall apply with respect to the hereinafter described portions of Oakey Park, a public park owned and operated by the Village:

A. Description of Park. A portion of Section 27, Township 33 North, Range 19 West, Polk County, Wisconsin, more fully described as follows: The Plat of the Village of Osceola, Osceola Outlet Plat, Outlet 55

Said real estate is further described as being located to the north of 4th Avenue, east of Chieftain Street, south of 7th Avenue and west of Summit Street in the Village.

B. Description of Portion of Park Subject to Agreement. All that portion of the above description of Oakey Park, including all of the park to the north of Mount Hope Cemetery, otherwise known as Outlet 61 of the Osceola Outlet Plat, together with that portion of the park to the west and northwest of said cemetery, lying north of a line described generally as being the southern boundary of the baseball field in the park, which is located to the west and north of the cemetery, together with that portion of Outlet 55 to the west of the baseball field.

A map of the park is attached as Exhibit "A", generally setting forth the description in B., above.

2. **Annual Term of Lease.** This lease shall be for a period of eight (8) days per each calendar year. It shall extend annually from 12:00 AM on the Tuesday next following the first Monday in September, or Labor Day Holiday, until and through 12:00 PM on the following Tuesday. For the calendar year 2000, the term of the lease shall be for the days of September 5, 2000 to and through September 12, 2000.

3. **Purpose of Agreement/Exclusivity of Use Extended.** During the annual term of this lease, Community Fair shall have exclusive rights to use that portion of the park described in #1, above. Said right of use is afforded to facilitate the operation by the Community Fair of the annual Osceola Fair, together with all uses reasonably related to the fair operation. The Community Fair shall engage in no other or further uses of the described property without the express, written consent of the Village, which privilege may be withheld by the Village with or without cause or justification. Said privilege of use shall extend to the Exhibition building on the park grounds, the concession stand, the rest rooms and the grandstand as well as to the grounds of the park included in the description.

4. **Responsibility for Operation of Annual Fair.** The Community Fair shall be solely responsible for the operation of the annual fair. The Village shall have no right to manage or control, nor shall Community Fair expect that the Village shall exert managerial authority over the fair.

5. **Indemnification.** Community Fair shall indemnify and hold the Village harmless from any and all personal injuries or property damage which occur, no matter whether during or outside of the annual weekly term of the Agreement for fair purposes or in relationship to the off season use of the Exhibition Hall for cold storage purposes and whose proximate cause is or was the operation of the annual fair or use of the designated areas of the park during such periods of time as when it was under the authority of Community Fair. To this extent, Community Fair shall hold the Village, its officers, employees and agents harmless from any and all liability exposure and damages related thereto. In the event that the Village receives a notice of claim or is sued, it shall notify Community Fair of the same as soon as is reasonably practicable.

6. **Off Season Storage Use of Exhibition Hall.** Community Fair shall also be granted the authority to lease out all or any portion of the Exhibition Hall for the storage of motor vehicles, boats and other personal property belonging to third parties. Said use of the Exhibition Hall may be made of this Hall for the entire year outside of the time of operation of the Osceola Fair. Community Fair shall be free to charge rent as and for extending said storage privilege to third parties and the Village expressly declines the right to participate in any rental income received for such storage of personal property. To this extent, Community Fair is granted a leasehold in this specified portion of the real estate described in #1 B., above and has permission to sublet portions thereof for the limited purpose of cold storage of motor vehicles, boats and other personal property.

7. **Insurance Coverage.** On an annual basis at least six (6) months prior to the annual fair, the Village shall consult with its insurance agent to ascertain minimum amounts of liability coverage which shall be carried by the Community Fair to adequately cover liability exposure associated with the operation of the annual fair. Said amounts and types of coverage shall be communicated to the Community Fair, which shall, in a certificate or certificates of coverage, represent to the Village prior to the opening day of the fair annually, that it has procured and will maintain in full force and effect, such coverage for the duration of Community Fair's use and occupation of the described real estate. The Village shall be named as a co-insured and the insurer shall agree not to withdraw coverage without providing at least seven (7) days' written notice to the Village. In addition, the Village agrees that it shall continue, during the period of each annual extension of this agreement, to carry underlying structural damage coverage for the buildings and premises liability coverage for the grounds on which the annual fair is to be held. In addition, Community Fair agrees that it shall carry liability coverage pertaining to its subletting of storage space in the Exhibition Hall as is allowed under # 6., above in such amounts as are annually agreed upon by the Village. Said approval by the Village shall be based upon the recommendations of its insurance agent and shall be communicated to Community Fair at least two (2) months prior to the commencement of storage activities annually.

8. **Revenues from Fair.** All revenues derived from the annual fair shall be the property of Community Fair. The Village hereby specifically disclaims any right or entitlement to all or any portion of the same.

9. **No Warranties Provided to Community Fair.** Community Fair acknowledges that the Village is extending to it no warranties or fitness for purpose nor any other kind of warranty, express or implied, as to the grounds subject to this agreement or with respect to the buildings located on the leasehold.

10. **Rent.** The Village shall not charge any cash rent to the Community Fair as and for its use of all or any part of the described premises, whether for the annual fair or for the use of the Exhibition Hall for storage purposes. It shall be considered by the Village that the economic activity generated by and the good will flowing to the community as a result of these activities shall be sufficient consideration to support and sustain this Agreement.

11. **Term of Agreement.** The term of this agreement, not to be confused with the annual term of Lease set forth in # 2, above, shall be for a period commencing with January 1, 2000 and extending to and through September 15, 2002. The Village reserves the right to terminate this agreement at any time, without notice at one of the following two times during each annual period of this agreement: (1) September 15TH; or (2) At the conclusion of the then current off season storage use of the Exhibition Hall.

12. **Defaults.** In the event that the Community Fair shall default in the performance commanded of it under the terms of this agreement, the Village may terminate the remaining term of this agreement upon thirty (30) days' written notice, whether with or without cause. The sole exception to this shall be that no such termination shall occur during the annual fair unless the default is so egregious as to subject the Village to exposure to monetary damages notwithstanding the indemnification and insurance provisions set forth above.

13. **Miscellaneous Terms and Conditions.**

A. Notices. Notices required or deemed advisable under the terms and conditions of this Agreement shall be delivered in person or sent by United States mail to the following representatives of the parties hereto:

1. To the Village: Village Administrator
PO Box 217
Osceola, WI 54020
2. To Community Fair: Community Fair
PO Box 681
Osceola, WI 54020

B. Parking. The Community Fair understands that the Village is under no obligation to provide it with adequate parking as and for the annual fair. To this extent, vendors and patrons alike shall be required to find parking in the vicinity of the fair subject to compliance with Village parking regulations.

C. Ordinary Maintenance. During the term of the annual fair, for the buildings and grounds, generally, and during the off season use of the Exhibition Hall for storage purposes, Community Fair shall be responsible for and shall engage then or after the end of the term in question in ordinary maintenance of the grounds and buildings subject to this agreement. Except for the Exhibition Hall, for which the Community Fair shall be exclusively responsible, major repairs, being defined as the replacement of or strengthening of structural supports, roof repairs or the replacement of walls or foundations, doors and windows not damaged due to the neglect of Community Fair or one of its users of the premises, shall be the responsibility of the Village. At the end of each annual fair and at the end of each off season storage season, Community Fair shall take reasonable steps to restore the grounds and buildings to their condition immediately preceding said period of use by Community Fair.

D. Access During Other Times of the Year. Community Fair, its agents and employees shall be granted the right, upon prior notice, during the year but outside of either the week of the fair or the off season use of the Exhibition Hall for storage purposes, to have access to the park and its buildings for


purposes of maintenance and other activities reasonably related to its use of the park and its facilities pursuant to this agreement. Such access shall not unreasonably interfere with the public's use of those facilities, however.

- E. Area of Park Open to Public During Fair Week. That portion of Oakey Park not included in the description of the area to be used for the fair, as described in # 1. B., shall remain open to public use during the annual fair, subject to the control of the Village. Community Fair shall have no right to exercise control over or restrict usage of that portion of the park.

Dated this day of April ,2000.

VILLAGE OF OSCEOLA

OSCEOLA COMMUNITY FAIR CORPORATION

By: 
Charles E. Jensen, President

By: 
Title: U.P. Dennis Tompkins



EXHIBIT A

LEASE AREA