

VILLAGE OF OSCEOLA PLAN COMMISSION MEETING

Date: Tuesday, October 3rd, 2023
Time: 6:00 p.m.
Place: Large Conference Room (Rm 205)
310 Chieftain Street
Osceola WI 54020

PLAN COMMISSION AGENDA

1. Call the meeting to order
2. Approval of agenda
3. Approval of minutes
 - a. September 5th, 2023
4. Discussion and possible action re:
 - a. Public Hearing- Site Plan for PID 165-00582-0200
 - b. Action Regarding Public Hearing – Approval of Site plan PID 165-00582-0200
 - c. Plan Introduction Industrial Park – Russ K
 - d. Preliminary site plan review – Caleb See
 - e. Preliminary Site Plan Review- Precision Steel (Pending Plans)
 - f. Public Input Discussion
 - g. Recreation Plan
 - h. Comp Plan Update
5. Future agenda items and updates
6. Adjourn

NOTE: It is possible that members of other governmental bodies of the municipality may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Village Hall at (715) 294-3498.

PLAN COMMISSION MEETING PROCEEDINGS

September 5, 2023

The Plan Commission of the Village of Osceola met on September 5, 2023, to hold a regular monthly meeting. Chair Gilliland called the meeting to order at 6:02 p.m.

Present: Deb Rose, Bruce Gilliland, Kim O’Connell, Bill Chantelois V, Dennis Tomfohrde, Rob Bullard, and Mike Sine

Excused:

Others present: Devin Swanberg, Tanya Batchelor, Neil Kline, and Russ Kiviniemi

Motion to approve the agenda was made by Rose, second by Bullard motion passed 7-0

Kim O’Connell asked about having public input back on the agenda.

Administrator Swanberg asked who made the motion at the previous meeting about the Osceola Fair building. Bullard stated that he seconded that motion. Motion to approve the minutes of the August 1, 2023, commission meeting, adding the motion second by Bullard, was made by Rose and seconded by Bullard, motion passed 7-0

Discussion and possible action re:

a. Land Transfer – 165-00193-0000 and 165-00198-0000

Administrator Swanberg explained the proposed land transfer of Parcel #165-00193-0000 and Parcel #165-00198-0000 to the adjoining property owners for \$1.00 per family. The proposal from the two landowners included all legal, recording and transfer fees to be paid by the Village. They would be responsible for the removal of dead and dying trees on the property, as well as the existing fence. Discussion followed. Motion by O’Connell to recommend the Village Board transfer both parcels for \$1.00 each to the adjoining landowners with the buyers paying all legal, recording and transfer fees, seconded by Rose. Motion passed 7-0.

b. Preliminary Site Plan Review – Wurzer Brothers

Russ Kiviniemi, of Cedar Corporation, explained the Preliminary Site Plan Review for Wurzer Brothers 12 plex apartment building. O’Connell stated that he did the soil borings on this property, just to let everyone know. There was discussion regarding the need for 1.7 parking spaces for each unit. Each unit will have one garage stall and one parking space just outside the garage. A park impact fee will be paid in lieu of park land. The final stormwater plan will be submitted tomorrow and the DNR plan will be submitted as well. The builder plans to begin before winter and complete within six months. The final site plan review will be at the next meeting on October 3rd and forwarded to the Village Board on October 10, 2023, for final approval. A notice of the Public Hearing will be published in the paper and sent to properties within 200 feet. It was the consensus of the Planning Commission to move forward with the items outlined in the memo from Angela Popenhagen of Stevens Engineering dated September 1, 2023.

c. Recreation Plan

Administrator Swanberg explained that he has contacted MSA about the cost for updating the recreation plan. MSA has given a proposal for completing the Comprehensive Plan and the Village Board will vote on it at their next meeting. If they choose MSA’s proposal, the cost to include the Recreation Plan may be less than having them done separately. The cost could be

anywhere from \$5,000 to \$10,000. We need to update our existing recreation plan to apply for DNR funding. The Planning Commission will be leading this process since we don't have a Park Board.

d. Fair Building Location

Staff recommended moving the location of the fair building. The fair board would like to keep it in the existing location. Discussion followed. There was also discussion regarding the lease with the fair board. Motion made by Sine to move forward on planning for the new building in approximately the same location, pending an agreeable lease. Motion passed 7-0.

e. Comprehensive Plan Update

Administrator Swanberg explained the Village Board will be reviewing two or three quotes for the comprehensive plan update and make their decision at the meeting on September 12, 2023. A kickoff meeting will be held in October, and the process will begin right away. They will start with small group meetings and then have larger group meetings later in the process. There was discussion regarding having public input during good weather to allow for better attendance. Also, the commissioners would like to pick an element, finish it and then move to the next element.

Future Agenda Items

Kim O'Connell would like to add public input back to the meeting agendas. He would also like to see the ordinance changed to clarify a Class I notice for public hearings and specify the number of days prior to the meeting that it should be posted.

The meeting was adjourned at 6:55 p.m.

Minutes Respectfully submitted by Tanya Batchelor, Village Treasurer

**NOTICE OF PUBLIC HEARING
VILLAGE OF OSCEOLA, POLK COUNTY, WISCONSIN**

Site Plan review for Wurzer Brothers, LLC

NOTICE IS HEREBY GIVEN that the Village of Osceola Planning Commission of the Village of Osceola, Polk County, Wisconsin, will conduct a public hearing on Tuesday, October 3, 2023, at 6:00 p.m. at the Osceola Village Hall located at 310 Chieftain Street, Room 205, Osceola, Wisconsin, for the purpose of discussing and receiving comments on the site plan proposed for the development at 103 Ridge Road, Osceola, WI 54020 per Village Code §219-94. Immediately following the public hearing, a Village Plan Commission meeting will be held to take action on the Site Plan.

A copy of the Site Plan can be examined at the Village Clerk's office, Village Hall, 310 Chieftain Street, Osceola, WI 54020, during regular business hours. All interested citizens are invited to attend the Public Hearing.

Dated this 21st day of September, 2023.

Carie Krentz, Village Clerk

VILLAGE OF OSCEOLA PLANNING / ZONING APPLICATION

PARTIAL INFORMATION SUBMITTED WILL DELAY REVIEW

Applicant's Name: C&E Wurzer Builders Application No: _____
 Property Address: Ridge Road Adjacent to Kwik Trip Site Parcel No: _____
 Applicant's Address: 1750 Hallie Road, Suite 1 Phone No: 715-839-8806
 City: Chippewa Falls State: WI Zip Code: 54729
 Property Owner (if other than applicant) _____
 Property Owner's Address (if different) _____
 City: _____ State: _____ Zip Code: _____
 Zoning District: M-3 Multi Family Residential Present Use: Vacant
 Proposed Use: 12 Unit Multi-Family Building

CHECK INFORMATION ACCOMPANYING THIS APPLICATION

- | | |
|---|--|
| <input checked="" type="checkbox"/> Site Plan (to scale)
<input checked="" type="checkbox"/> Detail Drawings
<input checked="" type="checkbox"/> Landscape Plan
<input type="checkbox"/> Narrative Description | <input type="checkbox"/> Proof of Control (Option Lease Ownership)
<input checked="" type="checkbox"/> Product Information, etc.
<input checked="" type="checkbox"/> Other Descriptions or Materials as Appropriate
<input checked="" type="checkbox"/> Photographs |
|---|--|

CHECK SPECIFIC ACTION REQUIRED

BOARD OF APPEALS	PLANNING COMMISSION
Variance (\$75)	Conditional Use permit (\$100)
Conditional Use Permit – St. Croix River District (required public hearing) (\$100 + notifications costs)	Conditional use Permit – St. Croix River District (requires public hearing)
Other Approvals	Site Plan Review (\$100 + \$500 escrow)
Appeal (\$50)	Resubdivision of land (\$50 + \$1,500 escrow)
Other	Amendment to Zoning Map or Ordinance (\$50)
	Planned Unit Development 10+ acres (\$100 + \$1,500 escrow)
	Other:

Summarize special conditions, practical difficulty or hardships imposed on the owner of the premises if strict letter of the ordinance were to be enforced (attach additional sheets if necessary):

To the best of my knowledge, the foregoing statements in this application are true and correct.

<u>Russ Kiviniemi</u> Agent Cedar Corp	9-21-2023
Signature:	Date:

Memo

To: Devin Swanberg

Date: September 1, 2023

Revised September 25, 2023

From: Angela Popenhagen

Re: C&E Wurzer Construction – 12 Unit Apartment Building

Below is a review of the 12-unit apartment building located on Ridge Road adjacent to Kwik Trip. The information received includes a civil site plan set from Cedar Corporation dated August 2023. No architectural plans or stormwater management report was received. (9/25/2023) Revised submittal documents have been provided and include the following:

- Building Plans for Osceola Heights by Robert D. Johnson dated 6/23/23.
- Revised civil site plans by Cedar Corporation dated September 2023.
- Stormwater Management Report by Cedar Corporation dated September 11, 2023.
- Building elevation photos
- Responses to this review memo from September 1, 2023.

Zoning Requirements

- The property is currently zoned R-3 Multifamily Residential District which is limited to 12 units or fewer.
- This property is located within the Osceola Airport Overlay Zoning. The maximum allowable top of building elevation in the overlay is 943.0. This will need to be confirmed when architectural plans are received. In addition, the developer will be required to obtain permits from the Federal Aviation Administration. (9/25/2023) The proposed top of building elevation is approximately 916.1 which is well beneath the maximum allowable elevation. The developer acknowledges FAA permitting will be obtained.
- The lot size exceeds the minimum requirements.
- We do not know the building height without the architectural plans. Maximum allowable building height is 35-feet. (9/25/2023) Architectural plans indicate the proposed building height is 32'-1 1/2".
- The provided front yard setback (30-feet) and rear and side yard setbacks (10-feet) comply with the ordinance.
- The ordinance requires certain ratios to be met:
 - A recreation space ratio, defined as the minimum square footage of recreation space required for each square foot of floor area, shall not be less than 0.16. This would mean that the Recreation Space Ratio = $0.16 \times 9,488 \text{ sf (approx.)} = 1,518 \text{ sf}$ is required. No recreational space is shown on the plan. (9/25/2023) The total floor area shown on the building plans is 18,879 sf. The required recreation space ratio = $0.16 \times 18,879 \text{ sf} =$

3,021 sf. No recreational space is shown on the plan. The developer has requested whether a fee in-lieu of providing recreational space or use of the available front yard space can be substituted for recreational space.

- A floor area ratio, defined as the maximum square footage of total floor area permitted for each foot of land area, shall not be more than 0.32. Calculations will be made when architectural plans are received. (9/25/2023) The floor area ratio is $18,879 \text{ sf} / 70,409 \text{ sf} = 0.27$, which is less than the maximum ratio of 0.32.
- An open space ratio, defined as the minimum square footage of open space required for each square foot of floor area, shall not be less than 2.0. The approximate open space is $46,284 \text{ sf} / 9,488 \text{ sf} = 4.9$ which is greater than the required ratio of 2.0. This is acceptable. (9/25/2023) The open space ratio is approximately $50,708 \text{ sf} / 18,879 \text{ sf} = 2.7$, which is greater than the minimum ratio of 2.0.
- An occupant car ratio, defined as the minimum number of off-street parking spaces without parking time limits required for each living unit, shall not be less than 1.5. This would mean that the Occupant Car Ratio = $12 \text{ units} \times 1.5 = 18$ stalls. No parking is shown on the civil plans. (9/25/2023) A total of 2 parking spaces are provided for each unit (1 garage space and 1 exterior parking space in front of each garage).

Design / Site Requirements

- A landscaping plan needs to be submitted for consideration and include planting types, quantities, layout and maintenance plan. (9/25/2023) The revised submittal includes a landscape plan.
- A lighting plan and associated photometrics will need to be submitted for review to ensure lighting does not adversely impact adjoining properties. (9/25/2023) It is noted in the resubmittal documents that carriage lights will be installed on the building. It is not anticipated that these lights will negatively impact adjoining properties.
- A signage plan shall be submitted for review and approval. (9/25/2023) The developer has indicated that a sign will not be installed.
- A sidewalk needs to be extended along Ridge Road to connect with the sidewalk installed by Kwik Trip. (9/25/2023) A sidewalk along Ridge Road is shown on the revised civil plans.
- The existing storm sewer catch basin in Ridge Road falls in the north driveway. A new "drive-over" casting will need to be installed as part of the project. (9/25/2023) A drive-over casting is shown on the revised civil plans.
- Village of Osceola Standard Specifications and Details must be followed. Specifically, the driveway apron appears to not comply. (9/25/2023) The driveway detail shown on the revised civil plans is consistent with the Village Details. All work within the right-of-way will need to be completed in accordance with the Village Standard Details and Specifications.
- (9/25/2023) The proposed plan shows a storm pipe connection to the existing catch basin in Ridge Road. There is an existing 15" storm sewer service stub provided for this lot near the north east corner of the parcel. To avoid the possibility of undermining the curb in the street when making the connection, all proposed storm sewer piping shall connect to the 15" storm sewer stub provided if the pipe capacity is sufficient for all of the site runoff.

Stormwater Management and Erosion Control

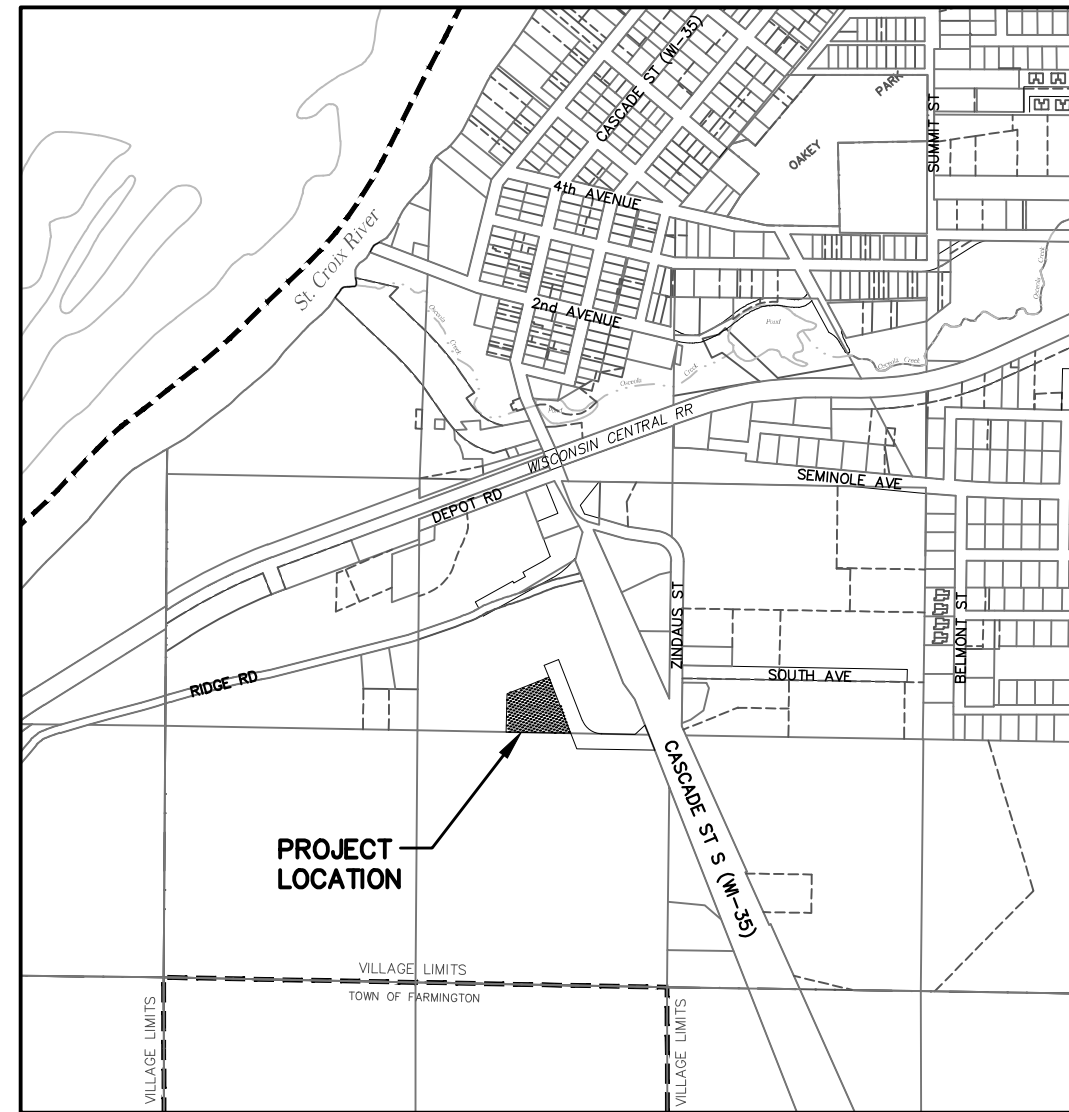
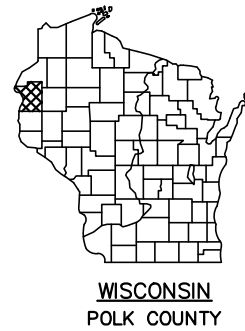
- A stormwater management report needs to be submitted for review. (9/25/2023) A stormwater management report has been submitted, reviewed, and is in conformance with the Village Code.
- Site disturbance will exceed 1-acre; therefore, a DNR stormwater permit will be required. As part of this permit, a long-term maintenance agreement will be needed.

If there are any questions regarding the information in this memo or if you need additional information, please do not hesitate to contact me. Thank you.

C&E WURZER CONSTRUCTION

12-UNIT APARTMENT BUILDING SITE

VILLAGE OF OSCEOLA, WISCONSIN



VILLAGE OF OSCEOLA, WI

PLAN INDEX

SHEET	SHEET DESCRIPTION
C000	TITLE SHEET
C100	EXISTING SITE CONDITIONS
C101	SITE PLAN
C102	GRADING PLAN
C103	EROSION CONTROL PLAN
C104	UTILITY PLAN
C105	LANDSCAPE PLAN
C106	CONSTRUCTION DETAILS
C107	CONSTRUCTION DETAILS
C108	CONSTRUCTION DETAILS

JOB NO. C6945-0001
BOOK NO.
DRAWN BY KAT
CHECKED BY RPK
DATE SEPT 2023
REVISIONS
REFERENCE FILE
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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
TITLE SHEET

SHEET NO.
C000

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND THAT I AM A DULY REGISTERED PROFESSIONAL UNDER THE LAWS OF THE STATE OF WISCONSIN.

LEGEND

- 825 ——— EXISTING CONTOUR LINE
- 824 ——— UNDERGROUND ELECTRIC LINES
- UGE ——— UNDERGROUND GAS
- GAS ——— UNDERGROUND FIBER OPTICS
- FO ——— BUILDING WALL
- CHAIN LINK FENCE
- TREE LINE

- DECIDUOUS TREE
- EVERGREEN TREE
- POWER POLE
- LIGHT POLE
- GUY WIRE
- UTILITY PEDESTAL
- SIGN
- IRON PIPE
- REBAR

ABBREVIATIONS

- | | |
|--------|--------------------------|
| C&G | CURB & GUTTER |
| CONC. | CONCRETE |
| CMP | CORRUGATED METAL PIPE |
| ELEV. | ELEVATION |
| EXIST. | EXISTING |
| EX. | EXISTING |
| HYD. | HYDRANT |
| INL. | STORM INLET |
| INV. | INVERT |
| FL | FLOW LINE |
| FF | FIRST FLOOR |
| LAT. | LATERAL |
| MH | MANHOLE |
| PIT | TEST PIT |
| PVC | POLYVINYL CHLORIDE PIPE |
| RCP | REINFORCED CONCRETE PIPE |
| R/W | RIGHT OF WAY |
| SAN. | SANITARY |
| SDWK. | SIDEWALK |
| SEW. | SEWER |
| STM. | STORM |
| TC | TOP OF CURB |
| TYP. | TYPICAL |
| VAR. | VARIABLE |

NOTES:

- EXISTING VERTICAL ELEVATIONS TO BE VERIFIED. SOURCE = POLK COUNTY LIDAR ELEVATION DATA.
- CEDAR CORPORATION SHALL NOT BE HELD RESPONSIBLE FOR ANY UTILITIES NOT LOCATED. FIELD VERIFY.

DISCLAIMER:

POLK COUNTY LIDAR WAS UTILIZED FOR DESIGN PER CLIENT REQUEST. FIELD TOPOGRAPHIC SURVEY WAS NOT PERFORMED DUE TO THICK TREE AND BRUSH COVER ON SITE. ENGINEER CANNOT GUARANTEE PROJECT EARTHWORK QUANTITIES NOR ACCURACY OF SITE GRADING PLAN. CONTRACTOR TO CONFIRM DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. NOTIFY ENGINEER OF SAID DISCREPANCIES.



EXISTING SITE CONDITIONS

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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
EXISTING SITE CONDITIONS

SHEET NO.
C100

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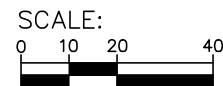
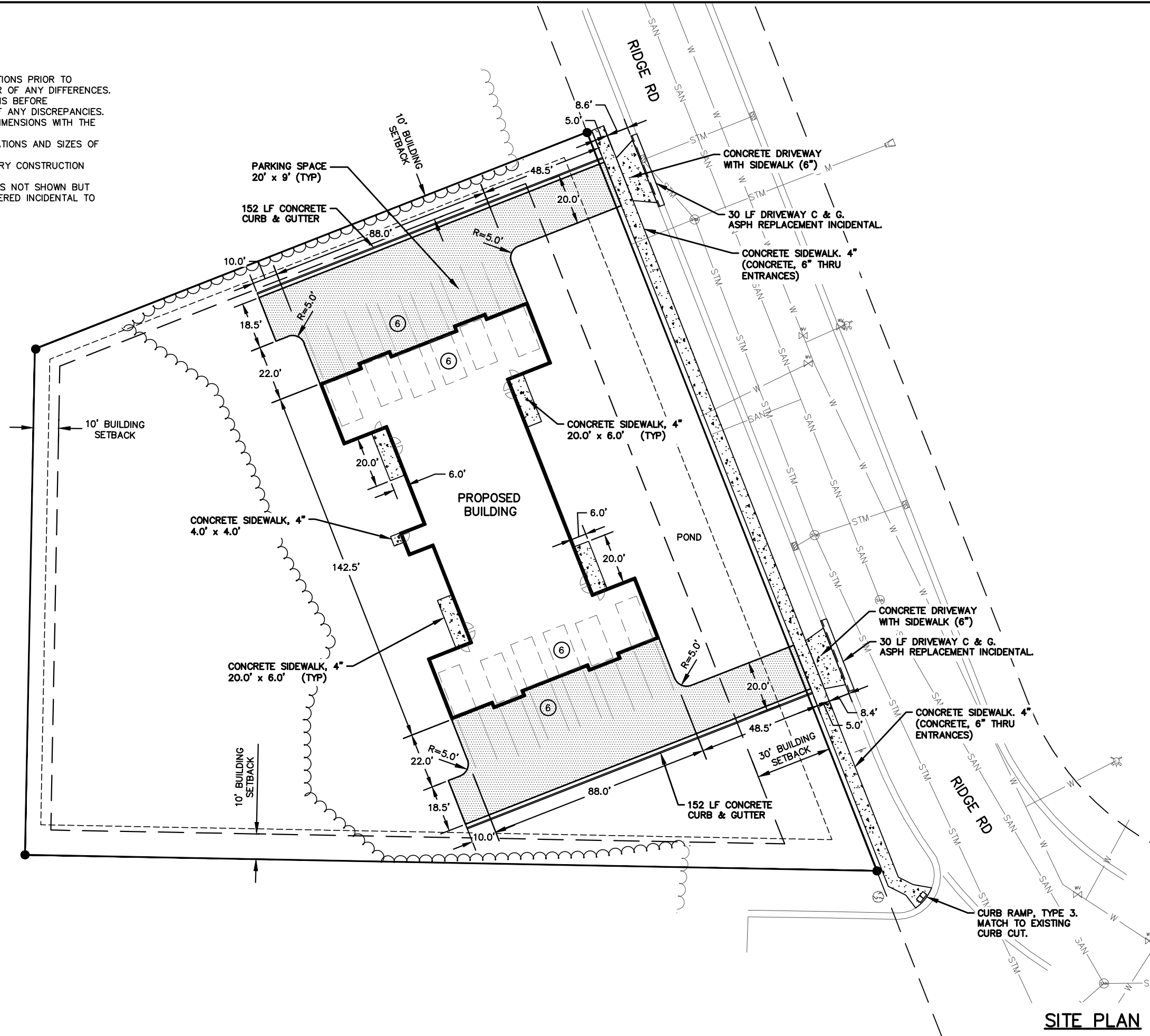
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NOTES:

- ZONING, R-3 MULTI-FAMILY
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND SIZES OF ALL EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- ANY REMOVALS, RELOCATIONS OR ABANDONMENTS NOT SHOWN BUT REQUIRED FOR CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION COSTS. FIELD VERIFY.

AVAILABLE PARKING SPACES

- 12 GARAGE PARKING SPACES
- 12 SPACES IN FRONT OF GARAGE
- 24 TOTAL PARKING SPACES PROVIDED



SITE PLAN

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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
SITE PLAN

SHEET NO.	C101
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NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.
- SLOPE ALL SIDEWALKS AT 2% AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
- PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE. SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
- CONTRACTOR SHALL INSURE THAT ALL ACCESSIBLE ROUTES COMPLY WITH CURRENT ADA STANDARDS.
- ALL GRADING & EARTHWORK SHALL BE AS PER WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION (LATEST ED.) & ALL SUPPLEMENTAL SPECIFICATIONS.

KEY

- 885 — DENOTES EXISTING CONTOUR LINE.
- 884 — DENOTES EXISTING CONTOUR LINE.
- 882 — DENOTES PROPOSED CONTOUR LINE, FINISHED GRADE.
- 885.26 X DENOTES PROPOSED SPOT ELEVATION, FINISHED GRADE.
- ➔ DENOTES DIRECTION OF PROPOSED AND EXISTING SURFACE WATER FLOW.
- H PT = HIGH POINT

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10' BLDG SETBACK

F.F. ELEV. = 884.00'

H PT
882.88

10' BLDG SETBACK



SITE GRADING AND STORM WATER MANAGEMENT PLAN

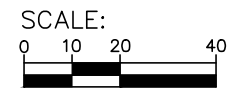
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C & E WURZER CONSTRUCTION
 12-UNIT APARTMENT BUILDING SITE
 RIDGE RD
 VILLAGE OF OSCEOLA, WI
 GRADING PLAN

SHEET NO.
C102

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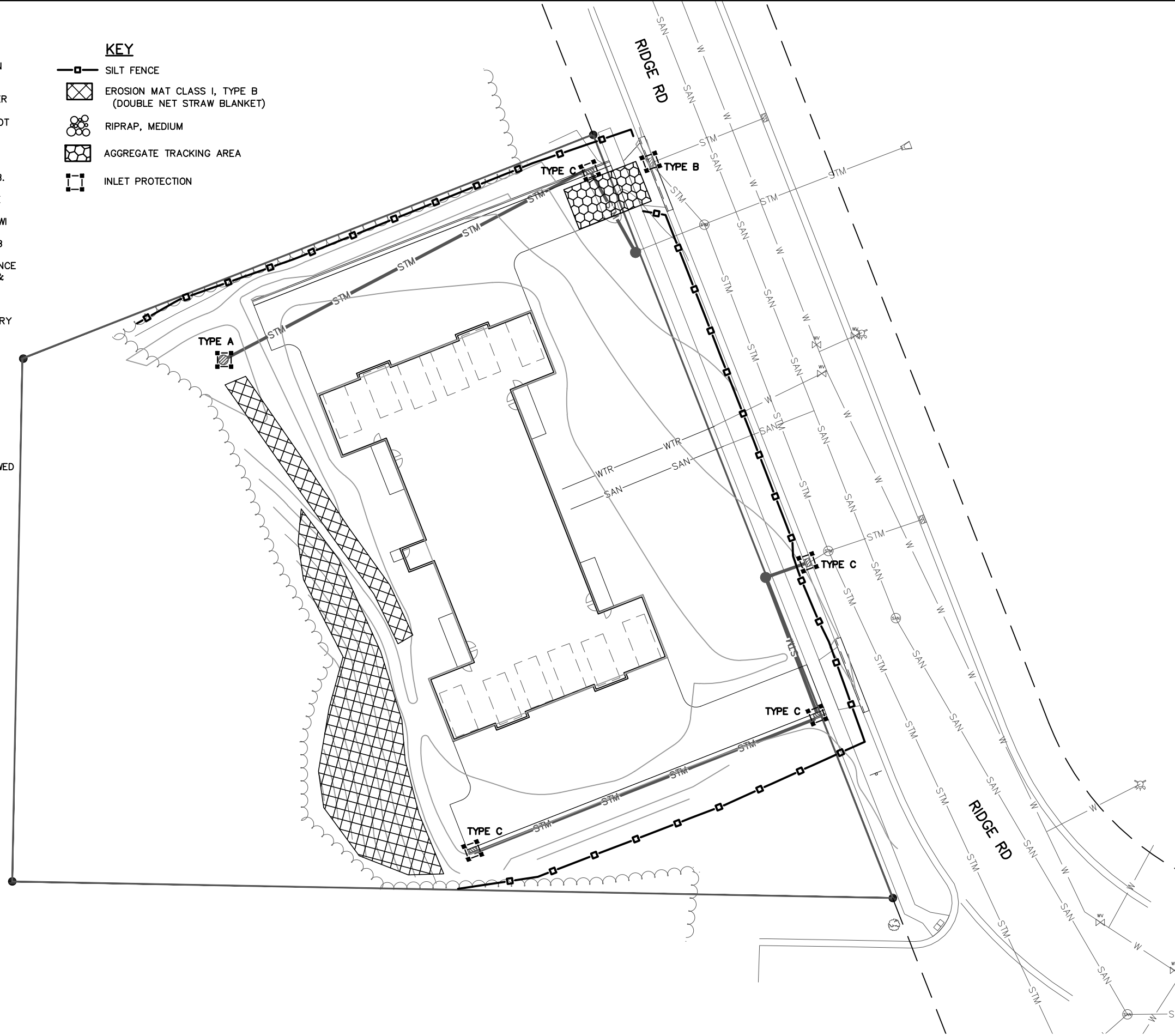


NOTES:

- THE CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES AS THE FIRST CONSTRUCTION ACTIVITY.
- SEED & MULCH & FERTILIZE ALL DISTURBED AREAS OVER 4" OF TOPSOIL.
- SEEDING SHALL BE SEED MIXTURE No. 40 AS PER WI DOT STAND SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION.
- SEED SHALL BE SOWN IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 630.3; EITHER METHOD A OR B.
- SEED MULCH SHALL BE IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.2.
- SEED MULCH SHALL BE APPLIED IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.3.2; METHOD B OR C.
- TOPSOIL SHALL BE SUPPLIED & INSTALLED IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 625.
- ADJUST OR ADD SILT FENCE AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- INSTALL SILT FENCE AS NEEDED AROUND ANY TEMPORARY SOIL STORAGE PILES.
- TRACKING AREA, REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.
- SUPPLY EROSION CONTROL MAT AS PER WI DOT PAL REQUIREMENTS. INSTALL EROSION CONTROL MAT AS PER MANUFACTURERS SPECIFICATIONS.
- ALL DISTURBED AREAS LEFT FOR MORE THAN 14 DAYS SHALL BE STABILIZE W/ SEED & MULCH TO PREVENT EROSION.
- ALL WASTE & UNUSED BUILDING MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF & NOT ALLOWED TO BE CARRIED OFF BY STORM WATER RUNOFF.
- THE CONTRACTOR SHALL FOLLOW ALL PRACTICES AS DEFINED IN THE WI DNR TECHNICAL STANDARDS FOR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL.

KEY

- SILT FENCE
- ▣ EROSION MAT CLASS I, TYPE B (DOUBLE NET STRAW BLANKET)
- ⊙ RIPRAP, MEDIUM
- ▣ AGGREGATE TRACKING AREA
- INLET PROTECTION



EROSION CONTROL PLAN

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 12-UNIT APARTMENT BUILDING SITE
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 EROSION CONTROL PLAN

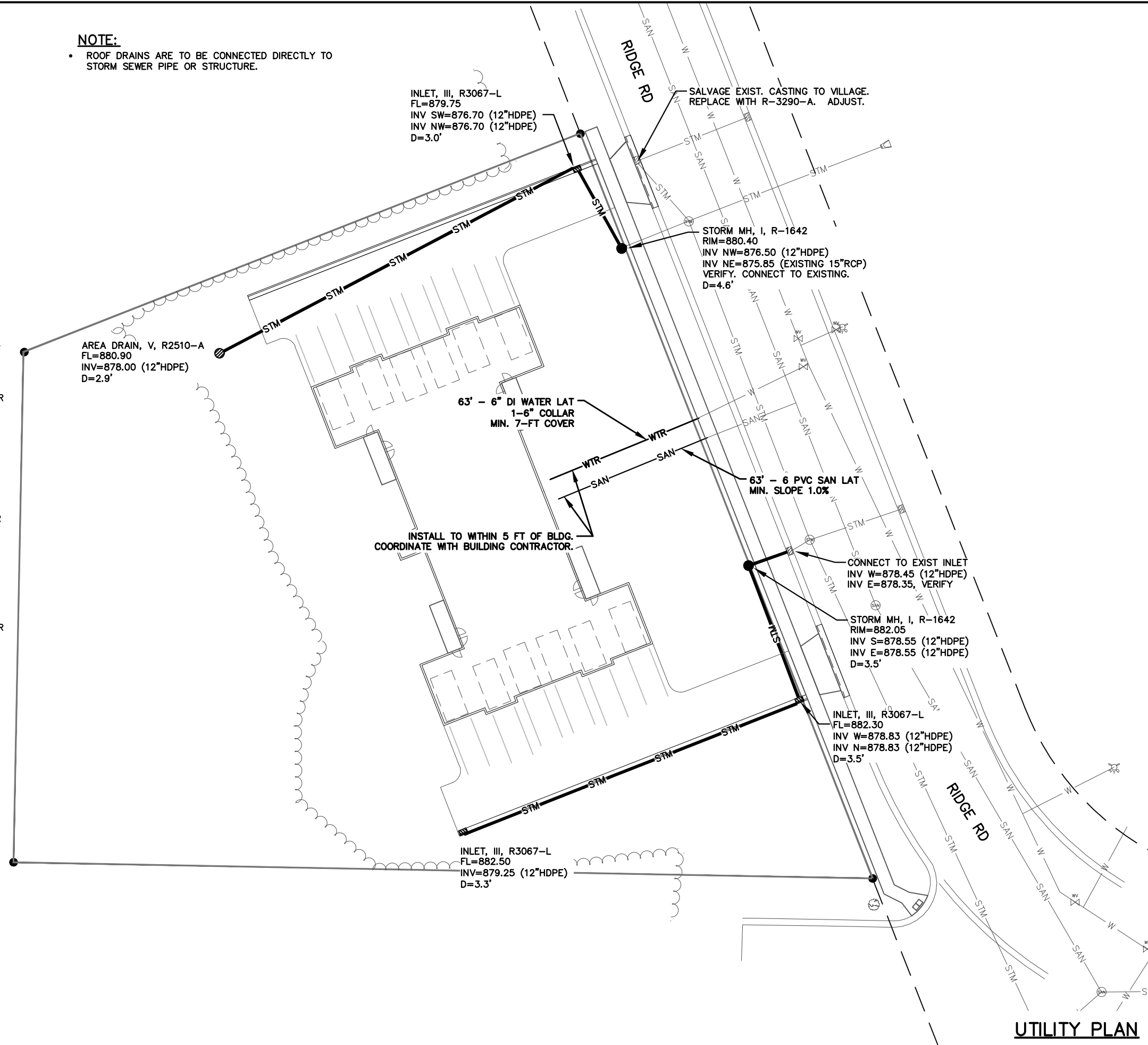
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C103

NOTES:

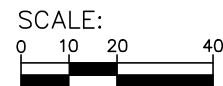
- CONTRACTOR SHALL LOCATE ALL EXIST. UTILITIES IN & AROUND CONSTRUCTION AREA.
- CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES OF ALL EXIST. UTILITIES, LOCATIONS ARE APPROXIMATE.
- ALL PVC STORM SEWER PIPES SHALL BE SCH. 40.
- HDPE STORM SEWER PIPE SHALL BE DUAL-WALLED POLY-ETHYLENE PIPE W/ SMOOTH INTERIOR WALLS MEETING AASHTO REQ. TYPE S PIPE & M 294 & ASTM F 667 FOR HDPE PIPE.
- CONTRACTOR SHALL COORDINATE SEW. & WTR. CONNECTIONS WITH MUNICIPALITY.
- IF THE WATERMAIN OR WATER LATERAL PIPE CROSSING A SEWER PIPE IS BELOW THE SEWER PIPE, THERE SHALL BE AN 18" MIN. SEPARATION, IF THE WATER PIPE IS ABOVE THE SEWER PIPE, THERE SHALL BE A 12" MIN. SEPARATION.
- CONTRACTOR SHALL MAINTAIN A MIN. OF 8' COVER OVER TOP OF WATER LATERAL.
- WATER LATERAL SHALL BE TYPE K COPPER.
- INSTALL 12 GAUGE SOLID COPPER TRACER WIRE W/ PLASTIC COATING ON TOP OF ALL PLASTIC SEWER & WATER PIPES.
- TRACER WIRE SHALL BE ATTACHED TO PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
- SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
- TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
- CONTRACTOR SHALL VERIFY LOCATIONS & ELEVATIONS FOR ALL UTILITY CROSSINGS (EXIST. & PROP.) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ARCHITECT IMMEDIATELY.
- ALL ELECTRIC, TELEPHONE & GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECS. LOCATIONS SHALL BE COORDINATED W/ APPROPRIATE UTILITY CO.
- ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE & LOCAL REQUIREMENTS, WI DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTALS & STANDARD SPEC FOR SEWER & WATER CONST. IN WI LATEST EDITION INCLUDING ALL ADDENDUMS & REVISIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL & STATE PERMITS AND PERMITS FEES.
- SITE CONTRACTOR SHALL INSTALL SANITARY SEWER AND WATER LATERALS 5' FROM BUILDING FOUNDATION WALL. CONTRACTOR SHALL CONNECT TO LATERAL STUBS IF IN PLACE BY BUILDING PLUMBING CONTRACTOR.
- LOCATION AND INSTALLATION OF TELEPHONE, ELECTRIC & GAS SERVICES TO BE COORDINATED BETWEEN CONTRACTOR AND UTILITY COMPANIES.

NOTE:

- ROOF DRAINS ARE TO BE CONNECTED DIRECTLY TO STORM SEWER PIPE OR STRUCTURE.



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UTILITY PLAN

JOB NO. C6945-0001
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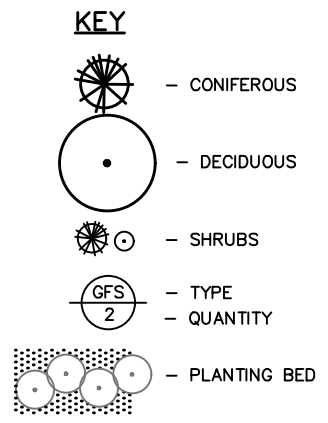
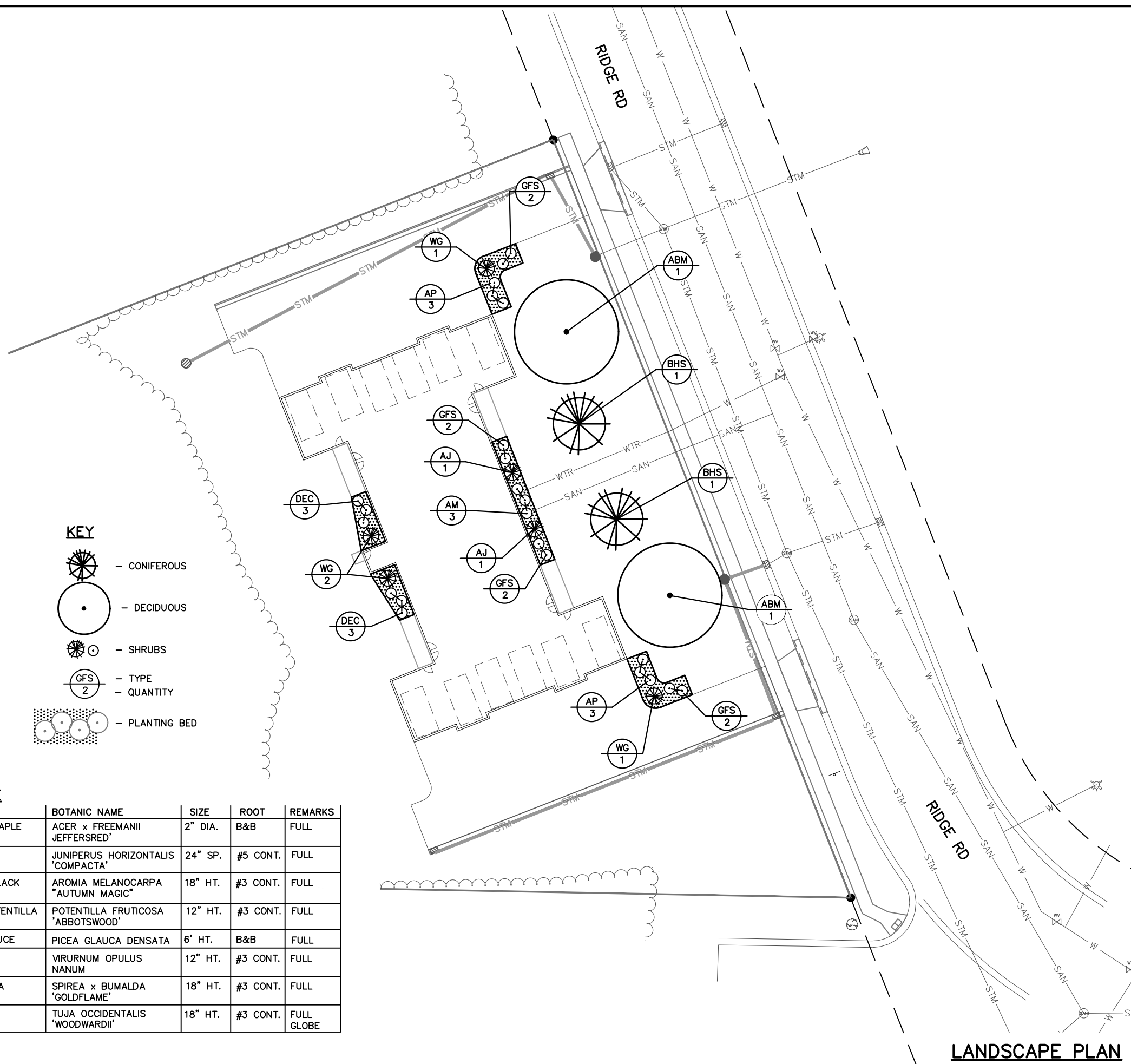
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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
UTILITY PLAN

SHEET NO.
C104

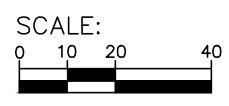
LANDSCAPE NOTES:

- * THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- * USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO WI DOT SSHSC SECT. 632.
- * USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS, 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- * USE SHREDDED BARK MULCH AT ALL SINGULARLY PLANTED TREES, MIN. 3" DEPTH, 4' DIA.
- * TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- * IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- * ALL PLANTS SHALL BE "SPECIMEN GRADE" AS PER AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- * ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLECT BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- * ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRDS.
- * ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.
- * ALL PLANTS SHALL BE SUBJECT TO INSPECTION BY THE OWNERS REPRESENTATIVE UPON DELIVERY. ANY PLANTS DEEMED NOT ACCEPTABLE BY THE OWNERS REPRESENTATIVE SHALL BE REMOVED FROM THE SITE & REPLACED WITH ACCEPTABLE MATERIAL.
- * ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- * TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A Ph RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- * SHREDDED BARK MULCH SHALL BE FRESHLY SHREDDED HARDWOOD BARK FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & OTHER MATERIALS HARMFUL TO PLANT GROWTH. SHREDDED BARK MULCH SHALL BE EITHER COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.
- * ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS or SHREDDED BARK & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- * CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.



PLANTING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
ABM	2	AUTUMN BLAZE MAPLE	ACER x FREEMANII JEFFERSRED'	2" DIA.	B&B	FULL
AJ	2	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	24" SP.	#5 CONT.	FULL
AM	3	AUTUMN MAGIC BLACK CHOKEBERRY	AROMIA MELANOCARPA "AUTUMN MAGIC"	18" HT.	#3 CONT.	FULL
AP	6	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	12" HT.	#3 CONT.	FULL
BHS	2	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6' HT.	B&B	FULL
DEC	6	DWARF EUROPEAN CRANBERRYBUSH	VIRURNUM OPULUS NANUM	12" HT.	#3 CONT.	FULL
GFS	8	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	18" HT.	#3 CONT.	FULL
WG	4	WOODWARD GLOBE ARBORVITAE	TUJA OCCIDENTALIS 'WOODWARDII'	18" HT.	#3 CONT.	FULL GLOBE



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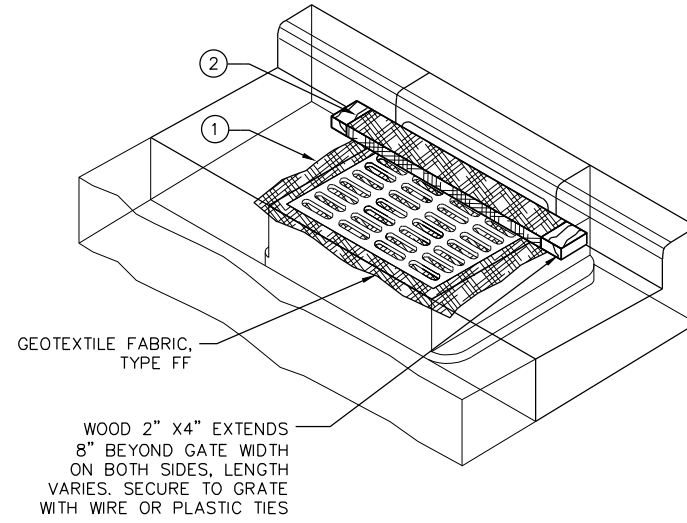
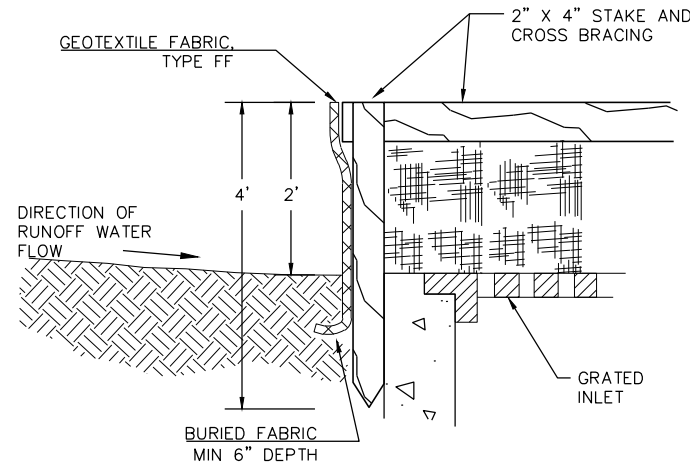
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12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
LANDSCAPE PLAN

SHEET NO.
C105

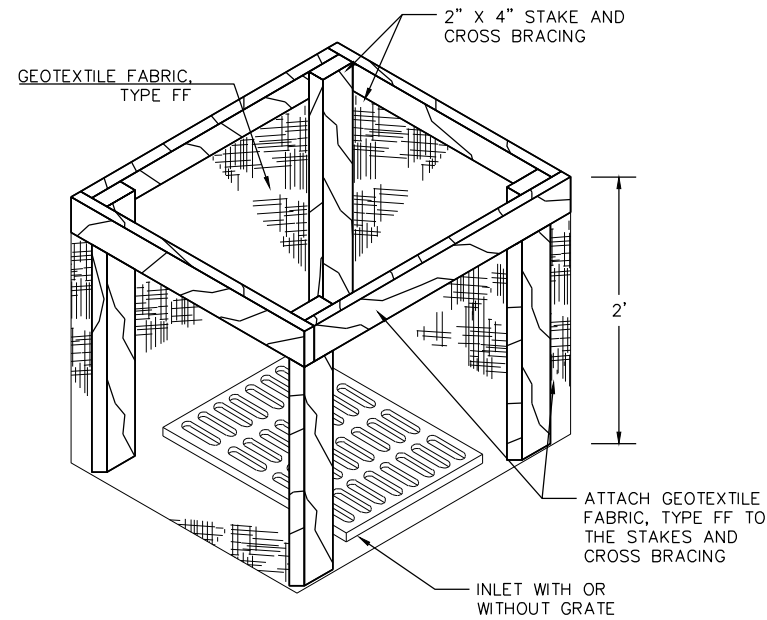
LANDSCAPE PLAN

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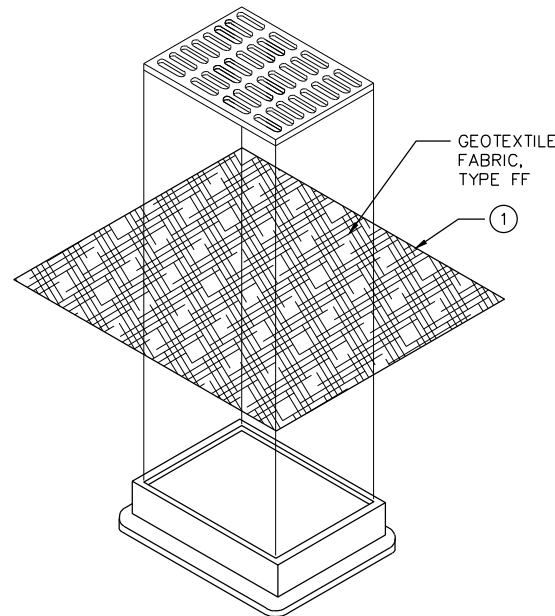
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INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES

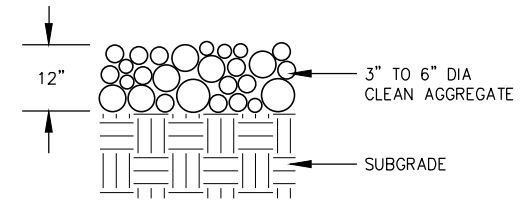
MANUFACTURED ALTERNATIVE APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

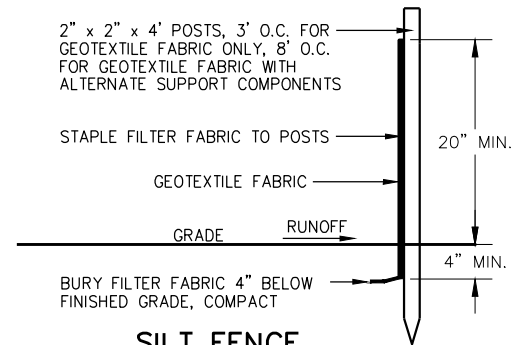
INSTALLATION NOTES

TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



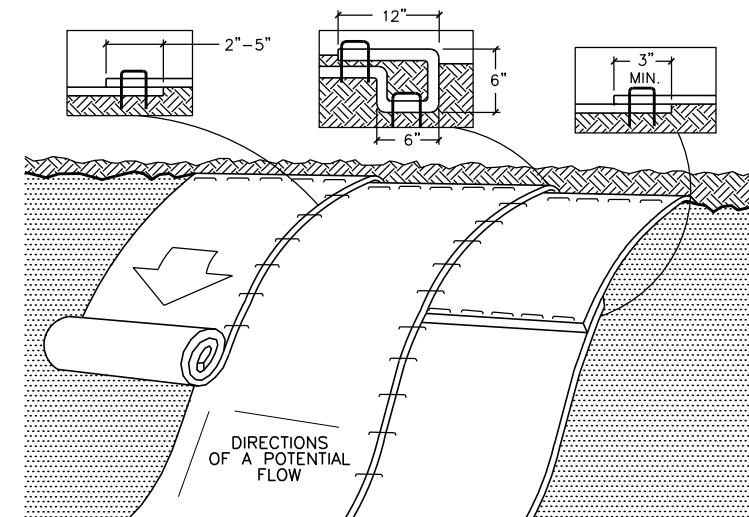
NOTES:
TRACKING PAD AREA TO BE 50' x 20' UNLESS OTHERWISE NOTED.
REMOVE AND REPLACE AGGREGATE WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING PAD DOES NOT FUNCTION

AGGREGATE TRACKING PAD
NO SCALE



SILT FENCE
NO SCALE

NOTE:
SILT FENCE SHALL BE SUPPLIED & INSTALLED AS PER THE WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION.



- * PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL MAT, INCLUDING GRADING, TOPSOIL, SEED & FERTILIZER.
- * BEGIN AT TOP OF SLOPE, BY ANCHORING MAT IN TRENCH, INSTALL STAPLES 12" APART, SEE DETAIL.
- * ROLL MAT DOWN SLOPE AS SHOWN. FASTEN MAT TO SOIL SURFACE W/ STAPLES. STAPLE PATTERN GUIDE BY MFR.
- * OVERLAP MAT AS PER MFRS. SPEC.
- * NORTH AMERICAN GREEN, USA 1-800-772-2040, www.nagreen.com.

EROSION MAT PLACEMENT
NO SCALE

CONSTRUCTION DETAILS

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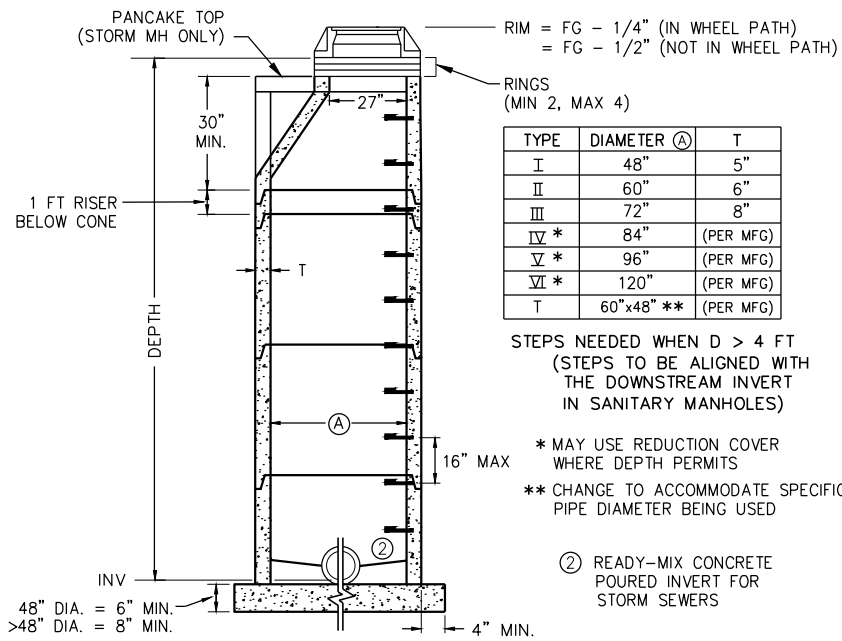
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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
CONSTRUCTION DETAILS

SHEET NO.
C106

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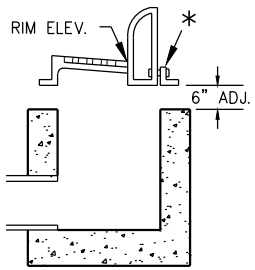
STORM MANHOLE
NO SCALE

TYPE	DIAMETER (A)	T
I	48"	5"
II	60"	6"
III	72"	8"
IV *	84"	(PER MFG)
V *	96"	(PER MFG)
VI *	120"	(PER MFG)
T	60"x48" **	(PER MFG)

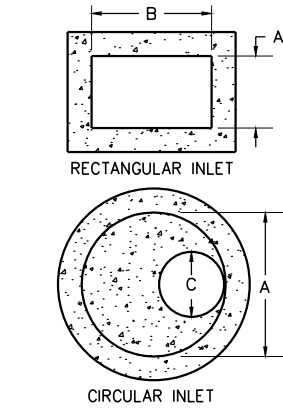
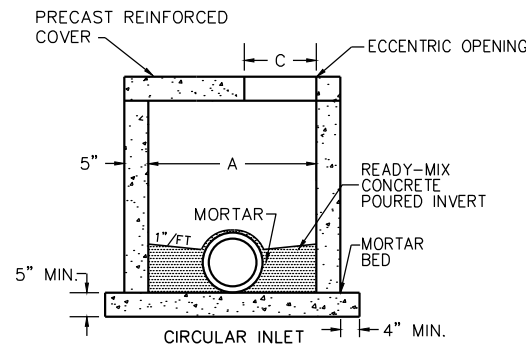
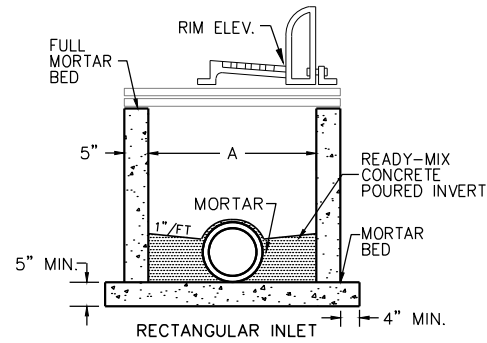
STEPS NEEDED WHEN D > 4 FT
(STEPS TO BE ALIGNED WITH THE DOWNSTREAM INVERT IN SANITARY MANHOLES)

- * MAY USE REDUCTION COVER WHERE DEPTH PERMITS
- ** CHANGE TO ACCOMMODATE SPECIFIC PIPE DIAMETER BEING USED
- ② READY-MIX CONCRETE POURED INVERT FOR STORM SEWERS

* INLET CASTING BOLT SLOTS SHALL BE COMPLETELY SEALED WITH WATERTIGHT SEAL.



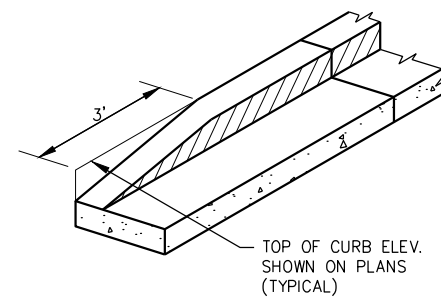
INLET CASTINGS
NO SCALE



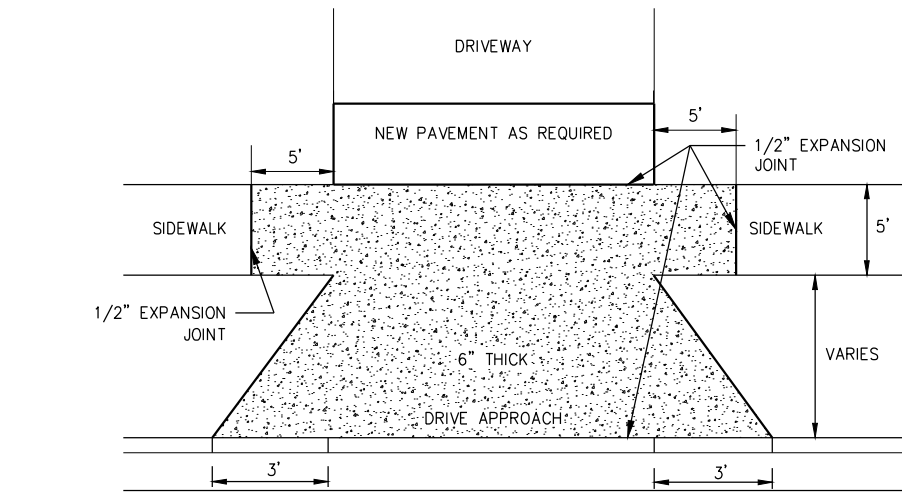
INLET TYPE	A	B	COVER OPENING C
I	2'	2'	-
II	2'	2'-6"	-
III	2'	3'	-
IV	42" DIA.	42" DIA.	27" DIA.
V	27" DIA.	27" DIA.	-

NOTE: STEPS REQUIRED WHEN D > 4'

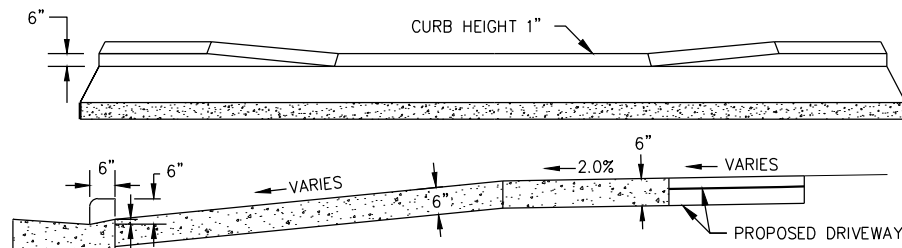
STORM INLET
NO SCALE



CONCRETE CURB & GUTTER END SECTION TAPER
NO SCALE

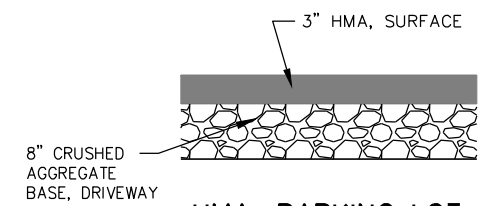


PLAN VIEW

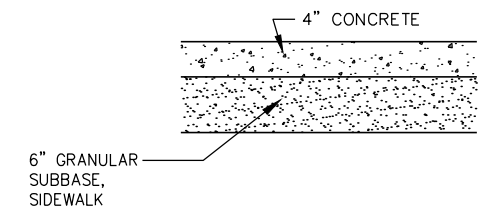


ELEVATION VIEW

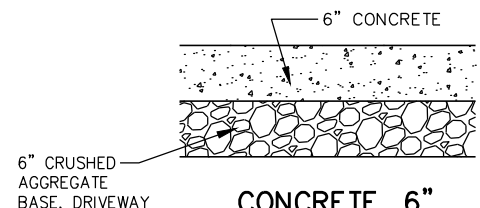
CONCRETE DRIVEWAY W/ SIDEWALK
NO SCALE



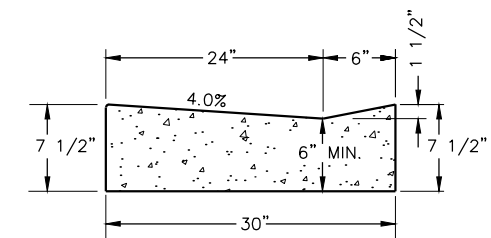
HMA, PARKING LOT
NO SCALE



CONCRETE SIDEWALK, 4"
NO SCALE

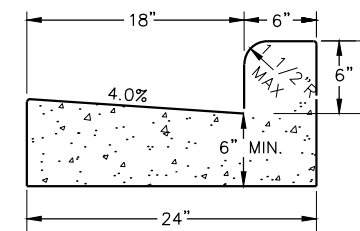


CONCRETE, 6"
NO SCALE



NOTE:
THE BOTTOM OF CURB & GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE COURSE PROVIDED. A 6-IN MINIMUM GUTTER THICKNESS TO BE MAINTAINED.

DRIVEWAY CURB & GUTTER



NOTE:
THE BOTTOM OF CURB & GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE COURSE PROVIDED. A 6-IN MINIMUM GUTTER THICKNESS TO BE MAINTAINED.

CONCRETE CURB & GUTTER

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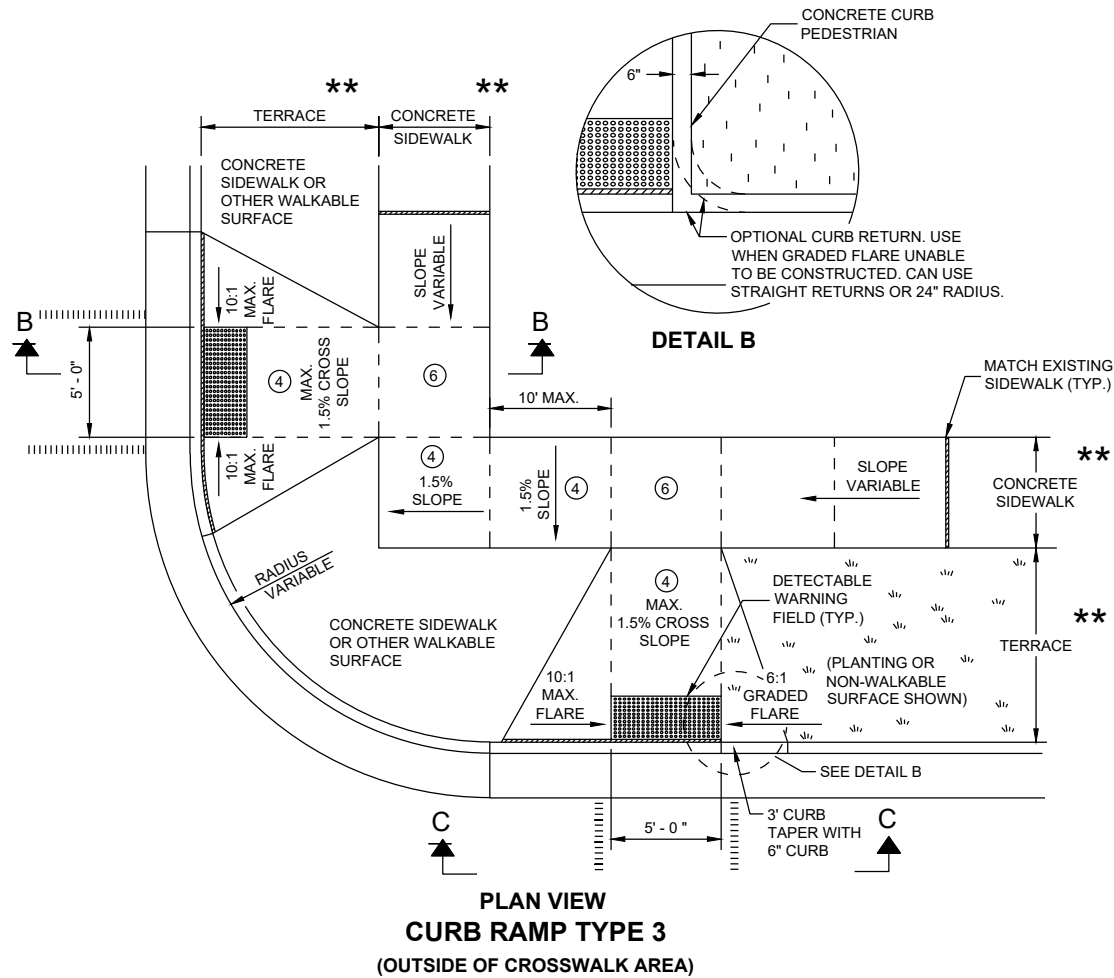
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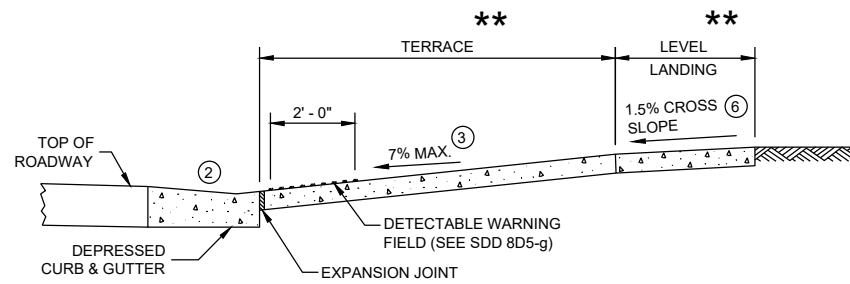
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CONSTRUCTION DETAILS

SHEET NO. C107

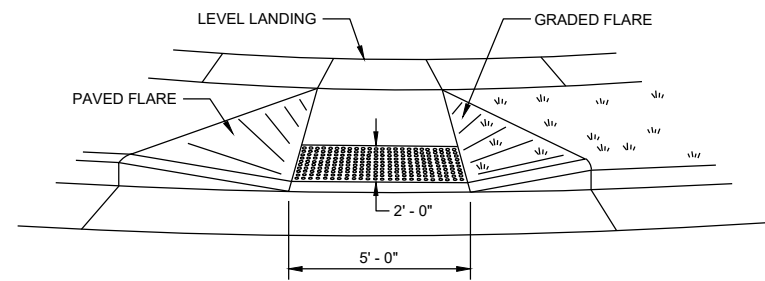
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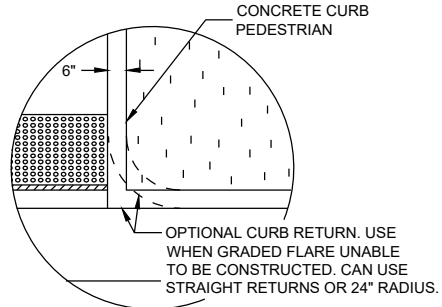
PLAN VIEW
CURB RAMP TYPE 3
(OUTSIDE OF CROSSWALK AREA)



SECTION B - B FOR TYPE 3



VIEW C - C FOR TYPE 3



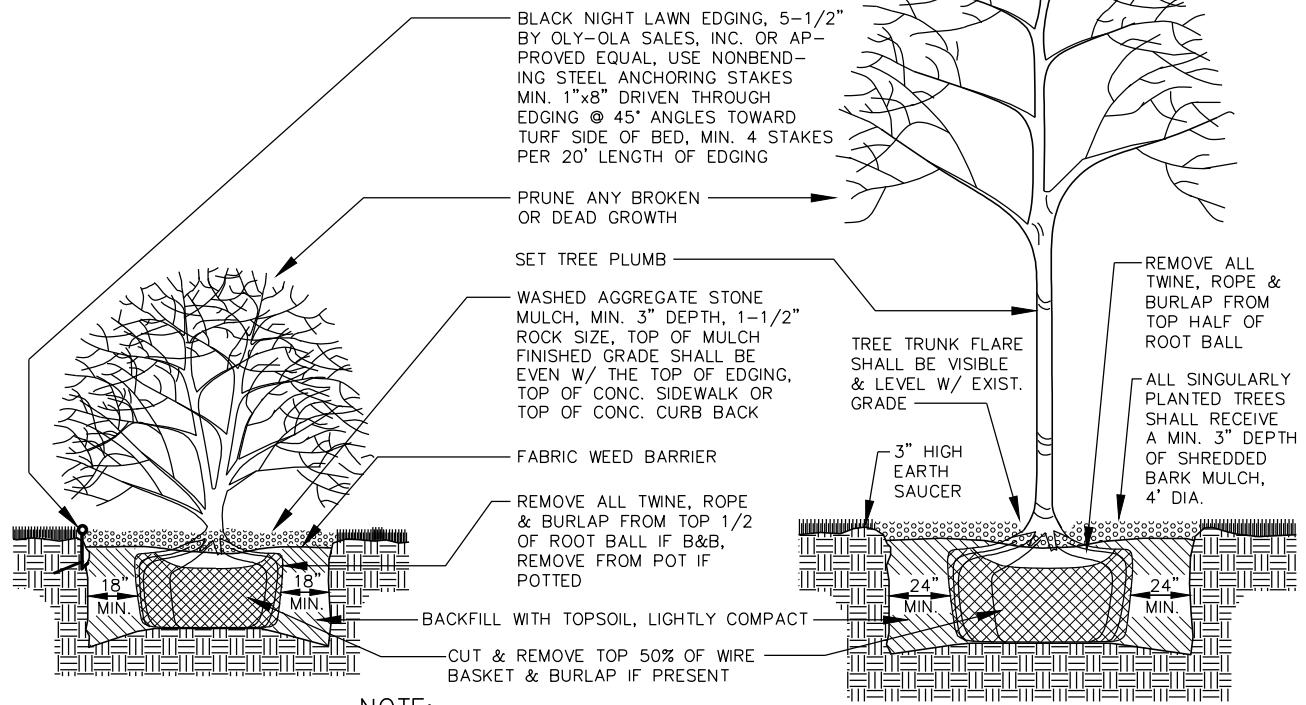
DETAIL B

GENERAL NOTES

- AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.
- DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
- DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE SHALL BE FROM THE SAME MANUFACTURER.
- ② GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/8\"/>

LEGEND

- 1/2" EXPANSION JOINT SIDEWALK
- CONTRACTION JOINT SIDEWALK
- PAVEMENT MARKING CROSSWALK (WHITE)
- * MAXIMUM 2.0% SLOPE IN ALL DIRECTIONS IN FRONT OF GRADE BREAK
- ** WIDTH SHOWN ELSEWHERE IN THE PLANS



NOTE:
ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH ANSI Z60.1, LATEST ADDITION.

TREE & SHRUB PLANTING
NO SCALE

CONSTRUCTION DETAILS

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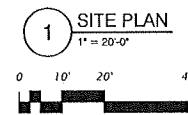
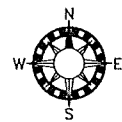
1605 Bellevue Street
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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
CONSTRUCTION DETAILS

SHEET NO.	C108
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- ENERGY CODE NOTES:**
1. WINDOW MAX U VALUE = 0.32.
 2. DOORS WITH MORE THAN 50 % GLASS MAX U = 0.32.
 3. DOORS WITH LESS THAN 50 % GLASS MAX U = 0.14
 4. CEILING R-60
 5. WOOD FRAME WALLS R-19 CAVITY
 6. FLOOR R-60
 7. FOUNDATION PERIMETER INSULATION R-15

- GENERAL NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS

SHEET INDEX

A1	COVER SHEET & SITE PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN & SCHEDULES
A4	ROOF PLAN AND ELEVATIONS
A5	WALL SECTIONS
A6	WALL SECTIONS
A7	WALL SECTIONS
A8	WALL SECTIONS
A9	STAIR SECTION & LIFE SAFETY PLAN
S1	FOUNDATION PLAN
S2	FIRST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	STRUCTURAL SECTIONS & NOTES



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CODE ANALYSIS:

TOTAL AREA PER BLDG	18,879 SF
FOOTPRINT	9,486 SF
GARAGE	4,725 SF
GROUND FLOOR	4,861 SF (EXCLUDES PATIO)
SECOND FLOOR	9,393 SF

TOTAL UNITS PER BUILDING = 12
 TOTAL BEDROOMS PER BUILDING = 24
 TOTAL BUILDINGS = 1

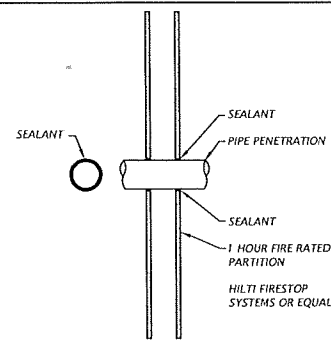
CODE ANALYSIS:

CODES: 2015 IBC, ANSI A117.1 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

OCCUPANCY R-2, CONSTRUCTION VB, NFPA-13R SPRINKLER SYSTEM
 IBC 406.3.4 SEPARATION OF PRIVATE GARAGES FROM DWELLING UNITS SHALL COMPLY WITH 406.3.4.1 THROUGH 406.3.4.3
 IBC 406.3.4.1 PRIVATE GARAGES REQUIRE 1/2" SHEETROCK ON WALLS AND 5/8" TYPE 'X' SHEETROCK ON CEILINGS. MAN DOORS SHALL BE EITHER SOLID WOOD, SOLID OR HONEYCOMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTE RATED ASSEMBLIES.
 IBC 420.2 WALLS SEPARATING DWELLING UNITS SHALL BE FIRE PARTITIONS AND COMPLY WITH IBC 708
 IBC 420.3 HORIZONTAL ASSEMBLIES TO COMPLY WITH IBC 711
 IBC 420.5 AUTOMATIC SPRINKLER SYSTEM TO COMPLY WITH IBC 903.2.8
 IBC TABLE 504.4, R-2, S ALLOWS 7,000 SF PER FLOOR
 IBC TABLE 506.2, R-2, SM ALLOWS 7,000 SF PER FLOOR
 IBC 506.2.3 AA = (AT+(NSXIF))XSA; AA = (7000+(7000X0.75))X2; AA = 24,500 SF ALLOWABLE
 IBC 506.3.3 IF = (F/P-0.25)W/30; IF = 552/522-0.25)30/30; IF = 0.75
 IBC 508.3 NONSEPARATED OCCUPANCIES USED
 IBC 602, TABLE 602 10' TO 30' FIRE SEPARATION = 0 HR EXTERIOR WALLS RATED BY TABLE 1020.1
 IBC 708.3 FIRE PARTITIONS TO HAVE 1 HOUR FIRE PARTITIONS BETWEEN DWELLING UNITS PER THIS SECTION.
 IBC 708.4 FIRE PARTITIONS SHALL EXTEND FROM FOUNDATION TO FIRE RATED FLOOR/CEILING AND FROM FIRE RATED FLOOR/CEILING TO FIRE RATED ROOF/CEILING. PROVIDE FIRE BLOCKING.
 IBC 711.2.4.3 THE HORIZONTAL FLOOR AND ROOF ASSEMBLIES BETWEEN DWELLING UNITS SHALL BE 1 HOUR RATED.
 IBC 714 PROVIDE PENETRATIONS OF ALL FIRE RATED SYSTEMS AS PER THIS SECTION
 IBC 714.4.2 MEMBRANE PENETRATIONS THRU HORIZONTAL ASSEMBLIES: EXCEPTION 7 - CEILING MEMBRANE CAN BE INTERRUPTED WITH A DBL TOP PLATE PROVIDED THE WALL IS SHEATHED WITH TYPE 'X' SHEETROCK.
 IBC 717 PROVIDE DUCT AND AIR TRANSFER OPENING PROTECTION AS PER THIS SECTION
 IBC 718 CONCEALED SPACES SHALL BE FIREBLOCKED AS PER THIS SECTION
 IBC 720 THERMAL INSULATING MATERIALS SHALL COMPLY WITH THIS SECTION.
 IBC TABLE 803.1.1 SPRINKLERED. PROVIDE CLASS C FINISHES FOR ALL WALLS. FLAME SPREAD INDEX 76-200 SMOKE DEVELOPED INDEX 0-450
 IBC 801 INTERIOR FINISHES SHALL COMPLY WITH THIS SECTION.
 IBC 903.2.8 AUTOMATIC SPRINKLER SYSTEM IS REQUIRED
 IBC 903.3.1.2 PROVIDE NFPA 13R SPRINKLER SYSTEM.
 IBC 906 PROVIDE PORTABLE FIRE EXTINGUISHERS AS PER THIS SECTION
 IBC 907.2.9, EXCEPTION 1, MANUAL FIRE ALARM BOXES ARE NOT REQUIRED W/ 1 HOUR SEPERATION WALLS AND DIRECT ACCESS TO PUBLIC WAY.
 IBC 907.2.1.1.2, PROVIDE SMOKE DETECTION PER THIS SECTION
 IBC 915 INSTALL CARBON MONOXIDE DETECTION AS PER THIS SECTION
 IBC TABLE 1006.2.1 ALLOWS ONE EXIT FROM DWELLING UNIT WITH MAXIMUM COMMON PATH EXIT DISTANCE IN R-2 OCCUPANCY WITH SPRINKLER SYSTEM & MAX OCCUPANT LOAD OF 10 = 125'. ACTUAL = 112' MAX.
 IBC 1015.8 WINDOW OPENING CONTROL DEVICES SHALL BE PROVIDED ON UPPER FLOOR WINDOWS IF THEY ARE LESS THAN 36" ABOVE THE FLOOR AND SHALL COMPLY WITH ASTM F 2090 TO ALLOW MAX 4" OPENING.
 IBC 1019.3 ITEM 1 - EXIT ACCESS STAIRWAYS THAT SERVE BETWEEN ONLY TWO STORIES SHALL NOT REQUIRE SHAFT ENCLOSURE CONSTRUCTION.
 IBC 1030 EMERGENCY ESCAPE AND RESCUE IN SECOND STORY UNITS WITH ACCESS TO ONE EXIT AS PER TABLE 1006.3.2(1). PROVIDE ONE EMERGENCY EGRESS IN EACH SLEEPING ROOM. PROVIDE MIN 5.7 SQ FT OPENING, 20" MIN WIDTH X 24" MIN HEIGHT NET OPENING AT 44" MAX TO FINISH FLOOR.
 IBC 1107.7.1 ALL UNITS ON THE GROUND FLOOR ARE REQUIRED TO BE TYPE 'B' UNITS
 IBC 1107.7.2 SECOND FLOOR UNITS ARE NOT TYPE 'B' UNITS
 IBC 1504 & 1505 ASPHALT SHINGLES SHALL COMPLY WITH THESE SECTIONS.
 IBC 1709.5.2 EXTERIOR DOOR TO COMPLY WITH THIS SECTION.
 IBC CHAPTER 18, SOILS & FOUNDATIONS SHALL COMPLY WITH THIS CHAPTER.
 IBC 1907 CONCRETE SLAB PROVISIONS SHALL COMPLY WITH THIS SECTION.
 IBC 2101 MASONRY MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.
 IBC CHAPTER 23 WOOD MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.
 IBC CHAPTER 26 FOAM PLASTIC INSULATION MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.
 IBC CHAPTER 33 SAFEGUARDS DURING CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.

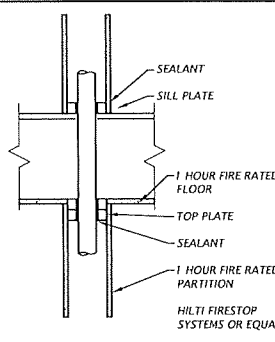
OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

COVER SHEET & SITE PLAN

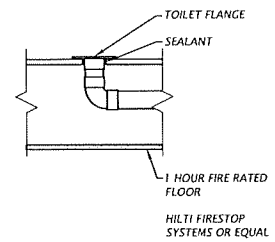


4 PIPE PENETRATION THRU WALL
1" = 1'-0"

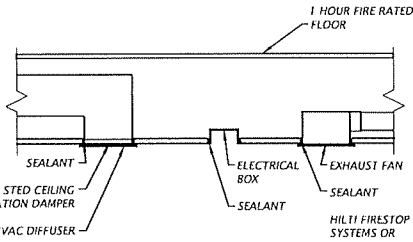
MBC 714 THROUGH AND MEMBRANE AND DBL TOP PLATE PENETRATIONS OF FIRE RATED WALLS AND HORIZONTAL ASSEMBLIES WITH METAL PIPE OR BOXES COMPLY WITH ASTM E119 OR UL 263. PLASTIC PIPE OR BOXES FIRESTOP AS PER ASTM E814 OR UL 1479.



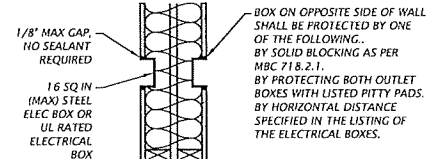
5 PIPE PENETRATION THRU FLOOR
1" = 1'-0"



6 DRAIN PIPE PENETRATION
1" = 1'-0"



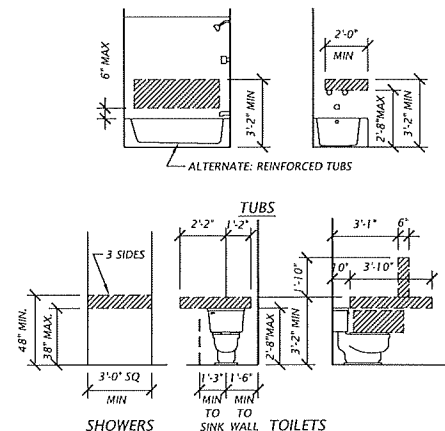
7 CEILING PENETRATION DETAILS
1" = 1'-0"



8 ELECTRICAL BOXES
1" = 1'-0"

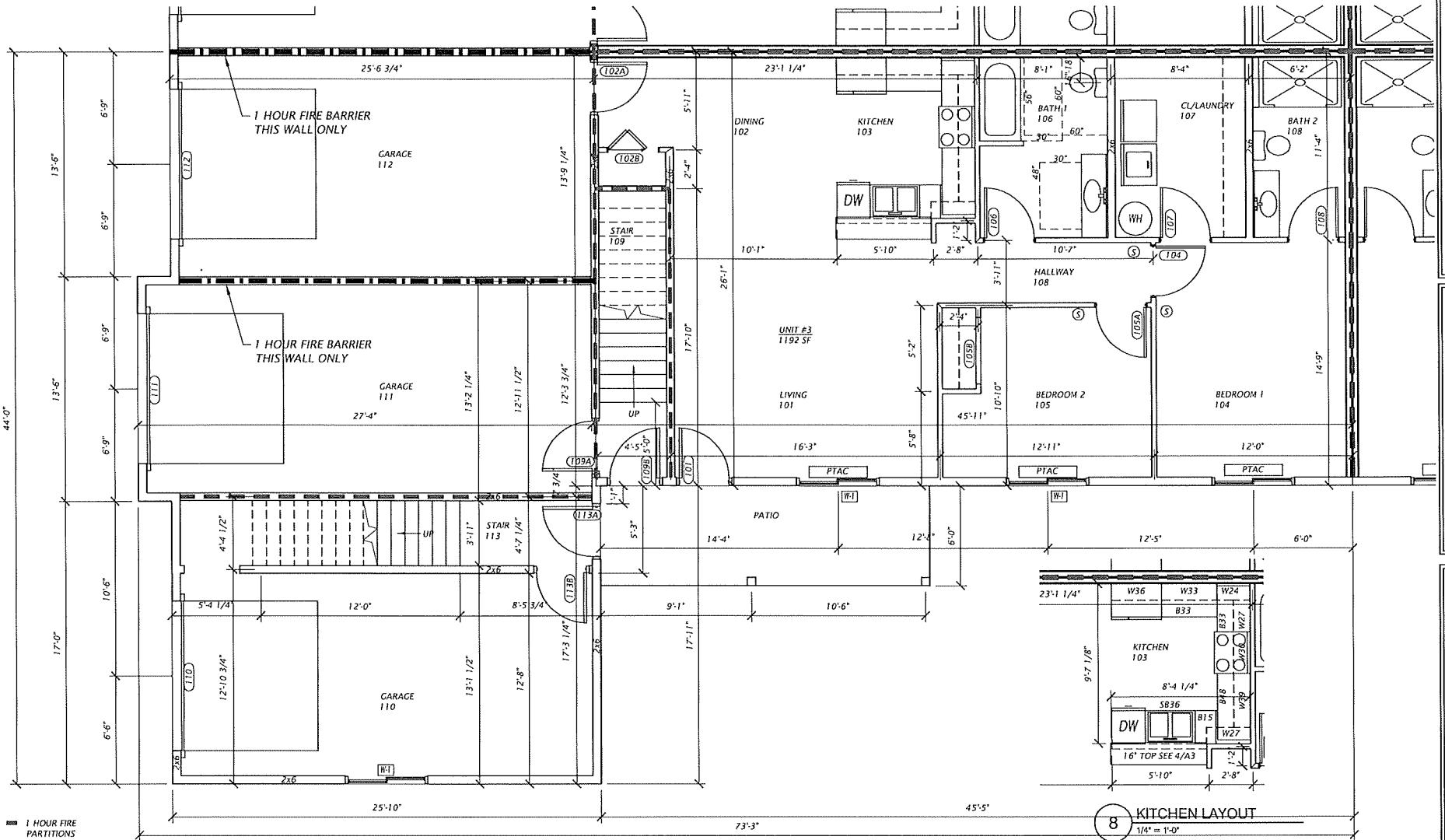
BOX ON OPPOSITE SIDE OF WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
BY SOLID BLOCKING AS PER MBC 718.2.1.
BY PROTECTING BOTH OUTLET BOXES WITH LISTED PITY PADS, BY HORIZONTAL DISTANCE SPECIFIED IN THE LISTING OF THE ELECTRICAL BOXES.

HANDICAP NOTES, ALL UNITS ON FIRST FLOOR (TYPE B), TO COMPLY WITH ANSI A117.2009:
PROVIDE INTERIOR HANDICAP ACCESS TO ALL UNITS, SWITCHES, RECEPTACLES AND CONTROLS TO BE FROM 15" TO 44" ABOVE FINISHED FLOOR AND OPERATE WITH ONE HAND.
PROVIDE GRAB BAR BLOCKING IN BATH 1, FIRST FLOOR ONLY PER THIS DETAIL.
DOORS TO HAVE MIN 31 3/4" CLEAR OPENING, ENTRANCE DOOR REQUIRES 32" MIN CLEAR OPENING AND PROVIDE 24" CLEAR TO LATCH SIDE OF ENTRANCE DOORS. DOORS TO HAVE LEVER HANDLES 34" TO 48" HEIGHT.
ICC/ANSI A117.1 SEC. 1004.5.2.1 - DOORWAYS INTENDED FOR USER PASSAGE WITHIN TYPE B DWELLING OR SLEEPING UNITS INTENDED TO BE USED AS A RESIDENCE SHALL HAVE A 31 3/4" INCH CLEAR OPENING, INCLUDING DOORWAYS TO DECKS, PATIOS OR BALCONIES. WHEN THE DEPTH OF THE DOOR OPENING IS MORE THAN 24 INCHES THE CLEAR OPENING SHALL BE 35 INCHES.
ICC/ANSI A117.1 SEC. 1004.10 - WASHING MACHINES AND CLOTHES DRYERS USED BY TYPE B DWELLING UNITS SHALL COMPLY WITH CLEAR FLOOR SPACE REQUIREMENTS OF SEC. 305.3, CENTERED ON EACH APPLIANCE FOR A PARALLEL APPROACH.
MAX 1/2" THRESHOLD BEVELED 1:2 TO MAXIMUM 1/4" INCH VERTICAL RISE.



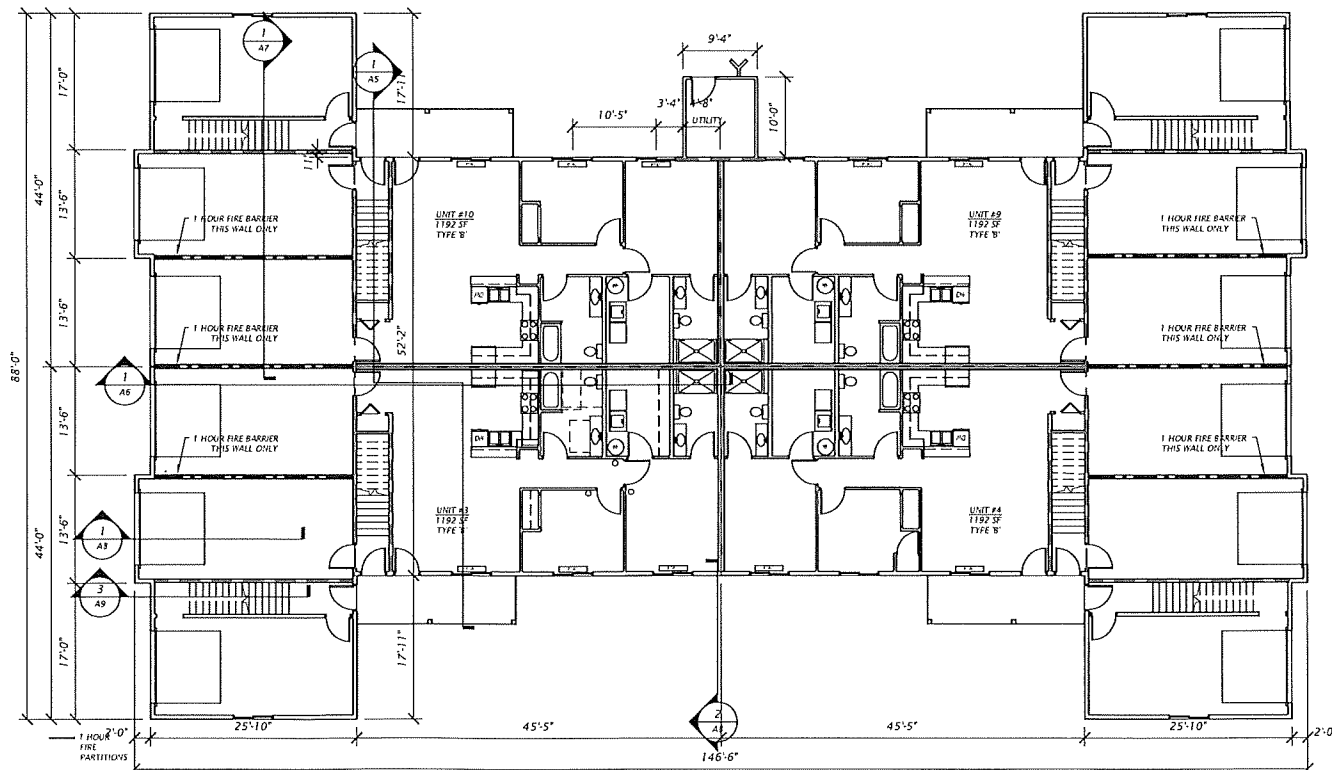
GRAB BAR BLOCKING DETAILS
1/4" = 1'-0" 2x8 BLOCKING (250 LB LOAD)
(ALL BATH ROOMS)

1 HOUR FIRE PARTITIONS



2 ENLARGED PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"

8 KITCHEN LAYOUT
1/4" = 1'-0"



1 OVERALL FIRST FLOOR PLAN
3/32" = 1'-0"

OSCEOLA HEIGHTS - 1-2 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

FIRST FLOOR PLANS

6-23-23

A2

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ROOM FINISH SCHEDULE											
NO.	ROOM NAME	CLG. HGT.	FLOOR			BASE		WALLS		CEILING	NOTES
			SEALD. CONCRETE	WOOD	CERAMIC TILE	WOOD	CERAMIC TILE	PAINTED OPS. BOARD	PAINTED OPS. BOARD		
101	LIVING	8'-0"	●	●	●	●	●	●	●		
102	DINING	8'-0"	●	●	●	●	●	●	●		
103	KITCHEN	8'-0"	●	●	●	●	●	●	●		
104	BEDROOM	8'-0"	●	●	●	●	●	●	●		
105	BEDROOM	8'-0"	●	●	●	●	●	●	●		
106	BATH	8'-0"	●	●	●	●	●	●	●		
107	LAUNDRY	8'-0"	●	●	●	●	●	●	●		
108	CLOSET	8'-0"	●	●	●	●	●	●	●		
109	STAIR	8'-0"	●	●	●	●	●	●	●		
110	GARAGE	8'-0"	●	●	●	●	●	●	●	VINYL ○ LANDING	
111	GARAGE	8'-0"	●	●	●	●	●	●	●		
112	GARAGE	8'-0"	●	●	●	●	●	●	●		
113	STAIR	8'-0"	●	●	●	●	●	●	●	VINYL ○ LANDING	
114	SPRINKLER	8'-0"	●	●	●	●	●	●	●		
201	LIVING	8'-0"	●	●	●	●	●	●	●		
202	DINING	8'-0"	●	●	●	●	●	●	●		
203	KITCHEN	8'-0"	●	●	●	●	●	●	●		
204	BEDROOM	8'-0"	●	●	●	●	●	●	●		
205	BEDROOM	8'-0"	●	●	●	●	●	●	●		
206	BATH	8'-0"	●	●	●	●	●	●	●		
207	CLOSET/LAUNDRY	8'-0"	●	●	●	●	●	●	●		
208	CLOSET	8'-0"	●	●	●	●	●	●	●		
211	LIVING	8'-0"	●	●	●	●	●	●	●		
212	DINING	8'-0"	●	●	●	●	●	●	●		
213	KITCHEN	8'-0"	●	●	●	●	●	●	●		
214	BATH	8'-0"	●	●	●	●	●	●	●		
215	BEDROOM	8'-0"	●	●	●	●	●	●	●		
216	CLOSET	8'-0"	●	●	●	●	●	●	●		
217	LAUNDRY	8'-0"	●	●	●	●	●	●	●		
218	BEDROOM	8'-0"	●	●	●	●	●	●	●		
219	BATH	8'-0"	●	●	●	●	●	●	●		
220	PANTRY	8'-0"	●	●	●	●	●	●	●		

ROOM FINISH NOTES

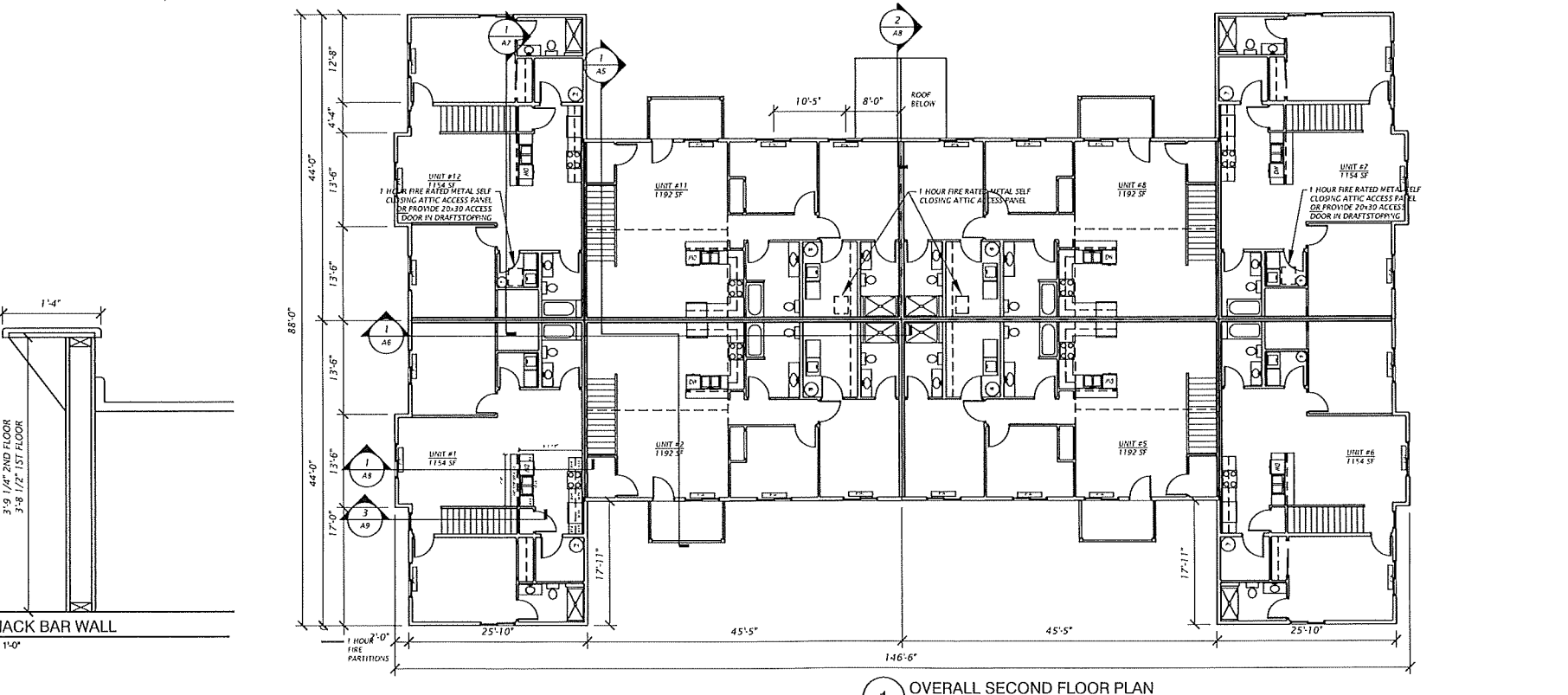
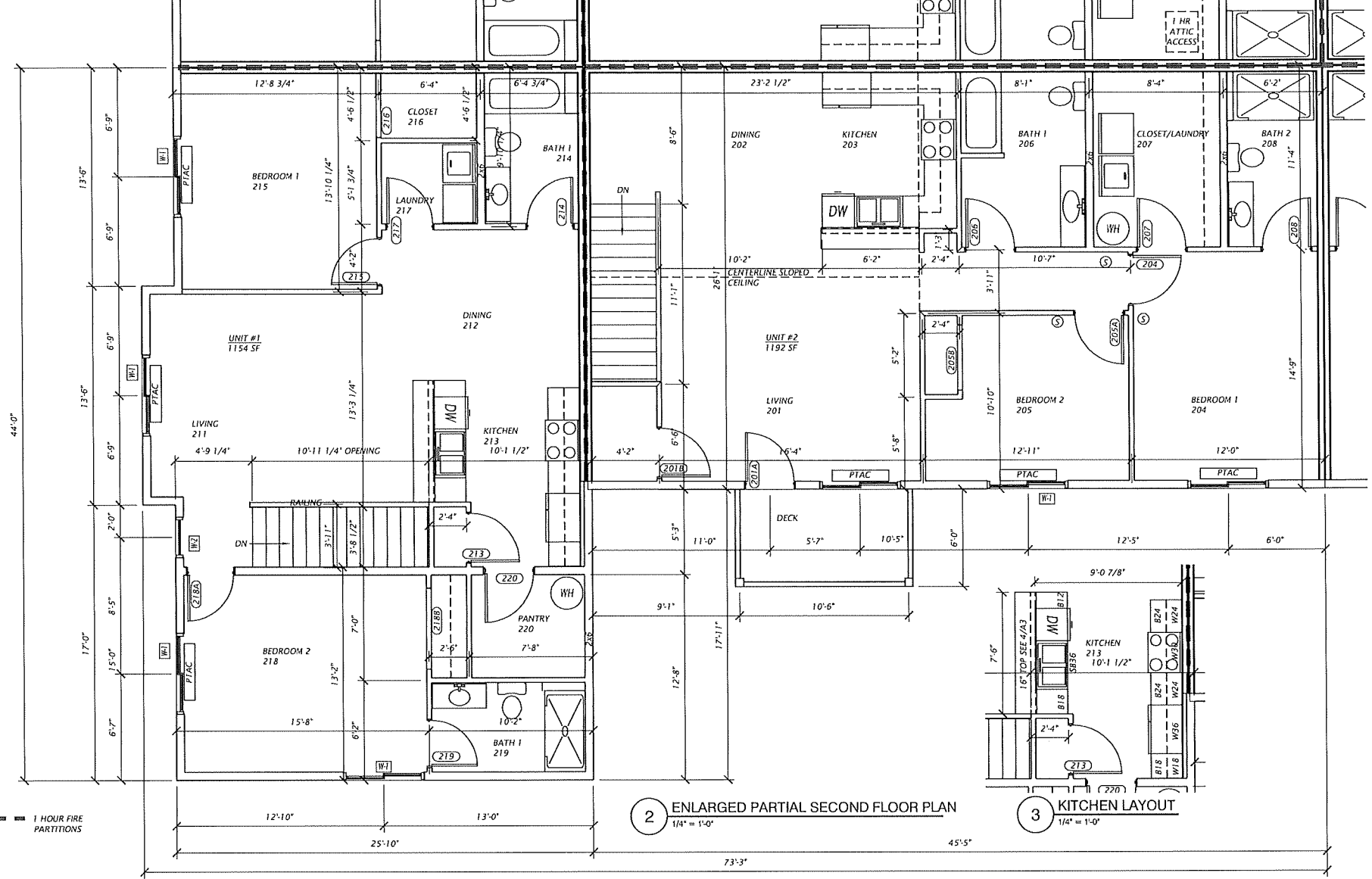
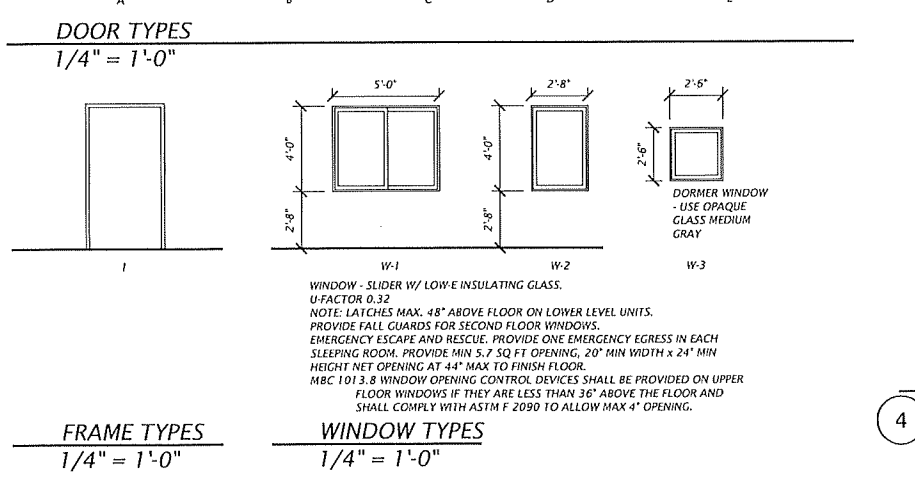
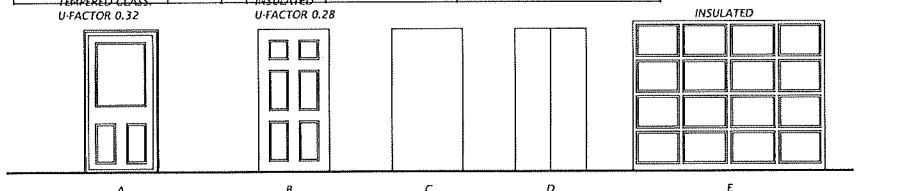
- ALL FINISHES TO BE VERIFIED BY GENERAL CONTRACTOR
- ALL COLORS BY OWNER.

DOOR SCHEDULE (TO BE FINISHED BY GENERAL CONTRACTOR)									
NO.	SIZE	DOOR		FRAME		HARDWARE		NOTES	
		MATERIAL	EL.	MATERIAL	EL.	(1)(2)(3)(4)(5)(6)			
101A	3'-0 1/2" x 1 3/4"	WOOD	A	WOOD	1	(1)(2)(3)(4)(5)(6)			PATIO DOOR
101B	3'-0 1/2" x 1 3/4"	WOOD	B	WOOD					INSULATED
102A	3'-0 1/2" x 1 3/4"	WOOD	B	WOOD					INSULATED, 20 MIN SELF CLOSING
102B	3'-0 1/2" x 1 3/4"	WOOD	D	WOOD					RE-FOLD
104	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
105A	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
105B	3'-0 1/2" x 1 3/4"	NA	NA	WOOD					CASED OPENING, NO DOOR
106	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
107	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
108	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
109A	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					INSULATED, 20 MIN SELF CLOSING
109B	3'-0 1/2" x 1 3/4"	WOOD	B	WOOD					INSULATED
110	8'-7"	METAL	E	NA					OVERHEAD DOOR
111	8'-7"	METAL	F	NA					OVERHEAD DOOR
112	8'-7"	METAL	F	NA					OVERHEAD DOOR
113A	3'-0 1/2" x 1 3/4"	WOOD	B	WOOD					INSULATED, 20 MIN SELF CLOSING
113B	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					INSULATED
114	3'-0 1/2" x 1 3/4"	WOOD	B	WOOD					INSULATED
201A	3'-0 1/2" x 1 3/4"	WOOD	A	WOOD					PATIO DOOR
201B	3'-0 1/2" x 1 3/4"	WOOD	B	WOOD					
204	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
205A	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
205B	3'-0 1/2" x 1 3/4"	NA	NA	WOOD					CASED OPENING, NO DOOR
206	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
207A	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
208	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
213	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
214	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
215	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
216	3'-0 1/2" x 1 3/4"	NA	NA	WOOD					CASED OPENING, NO DOOR
217	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
218A	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
218B	3'-0 1/2" x 1 3/4"	NA	NA	WOOD					CASED OPENING, NO DOOR
219	3'-0 1/2" x 1 3/4"	WOOD	C	WOOD					
220	3'-0 1/2" x 1 3/4"	MATERIAL	C	WOOD					TEMPERED GLASS

HARDWARE	
1 HINGES	7 KEYS LOCKSET
2 WALLSTOP	8 PRIVACY LOCKSET
3 CLOSER	9 PASSAGE LOCKSET
4 PULL	
5 PUSH PLATE	
6 KNOB/PLATE	

NOTES:

- ALL LOCKSETS TO MEET BARRIER-FREE STANDARDS.
- ALL HARDWARE W/ LEVER HANDLES
- MATCH EXISTING DOORS, FRAMES & HARDWARE

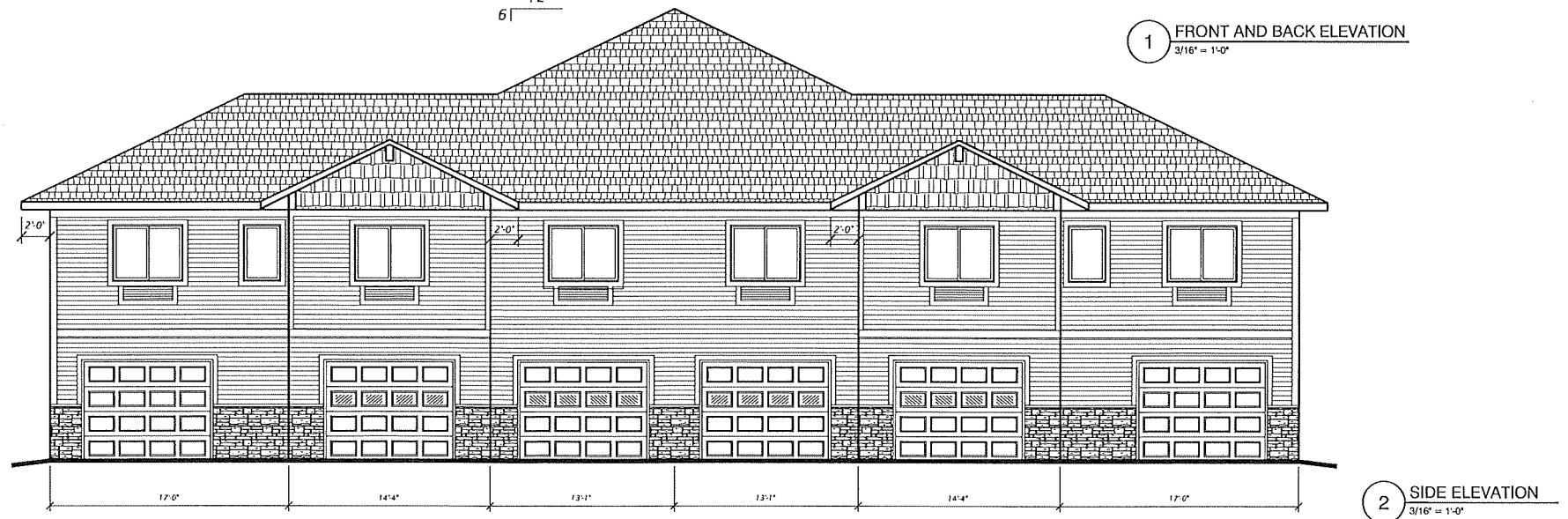
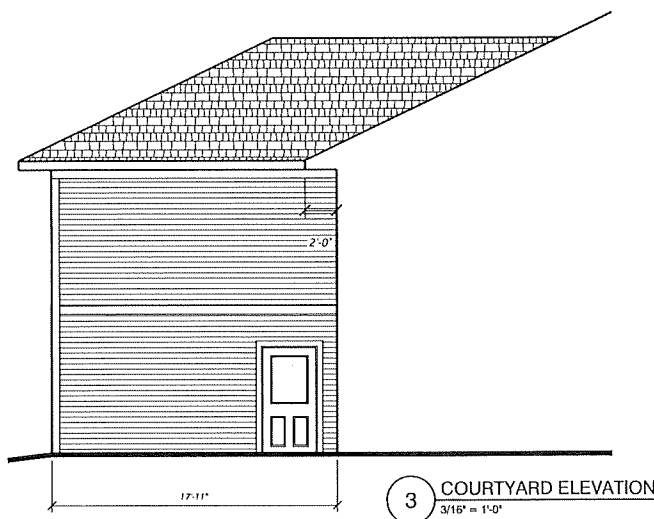
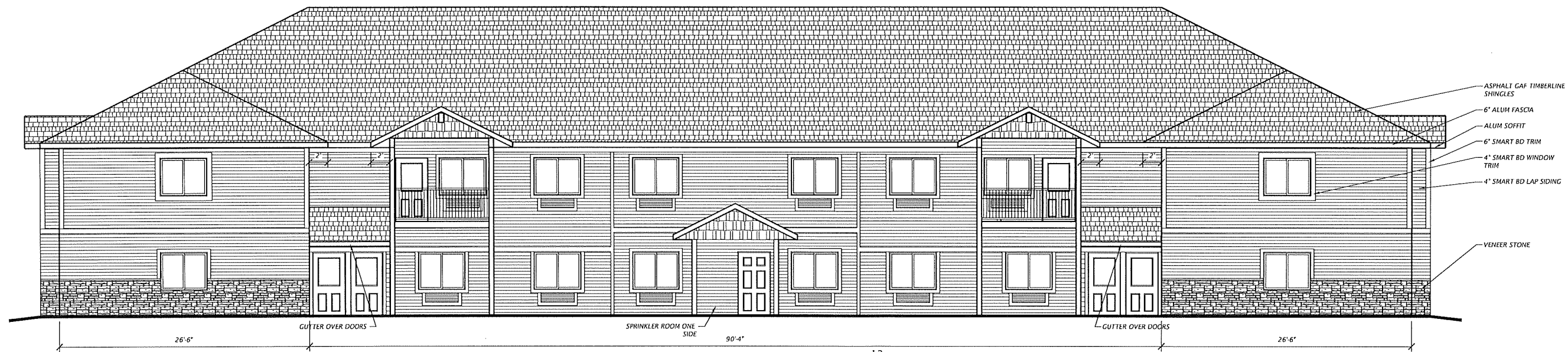
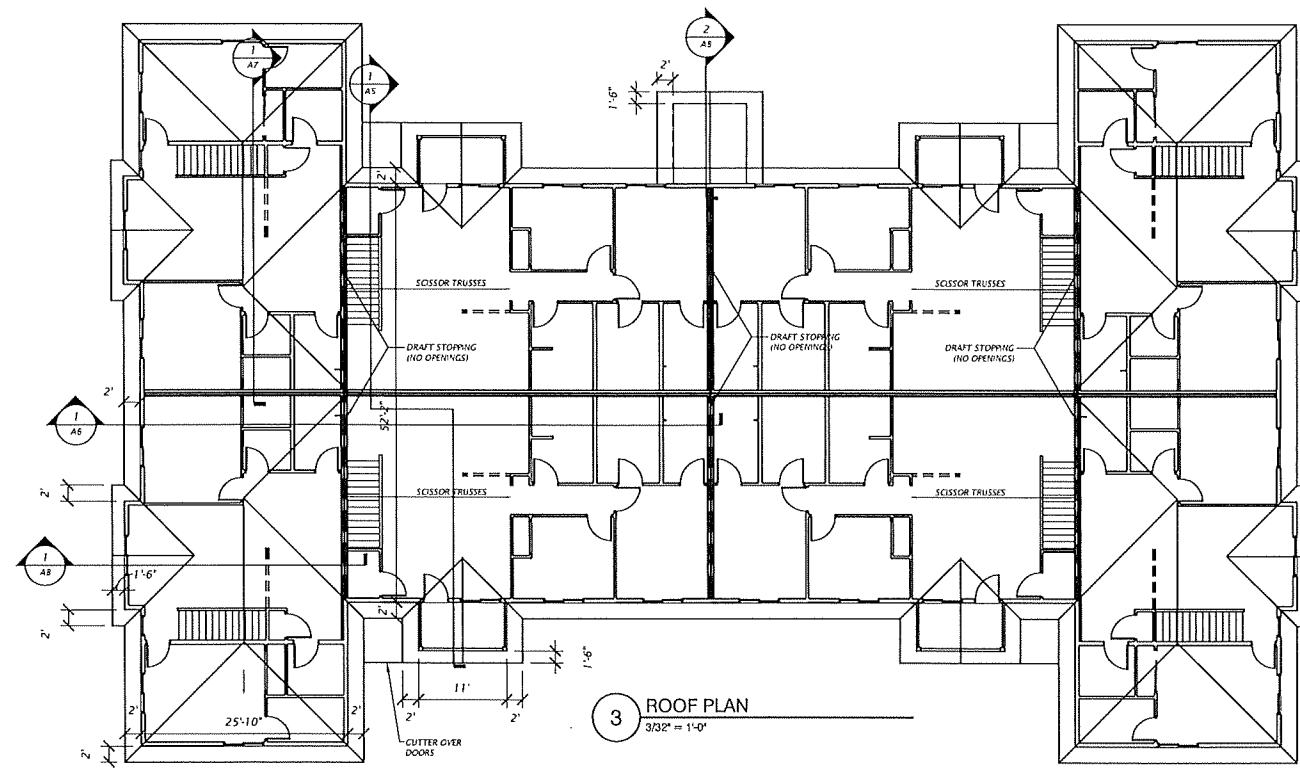


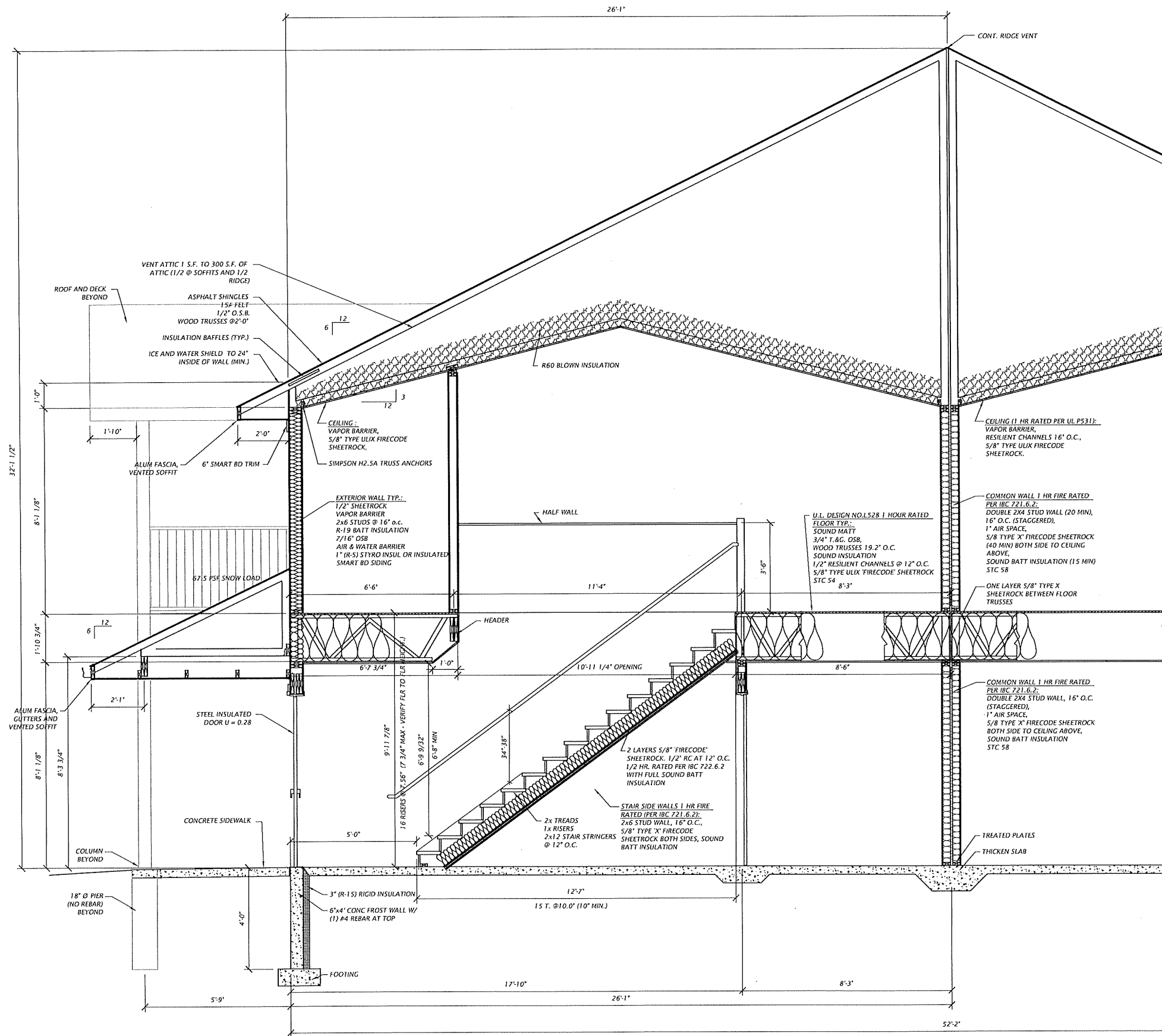
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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

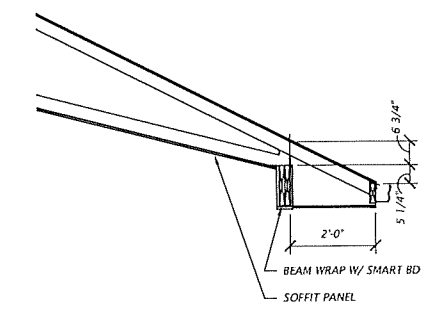
SECOND FLOOR PLANS
SCHEDULES

6-23-23
A3

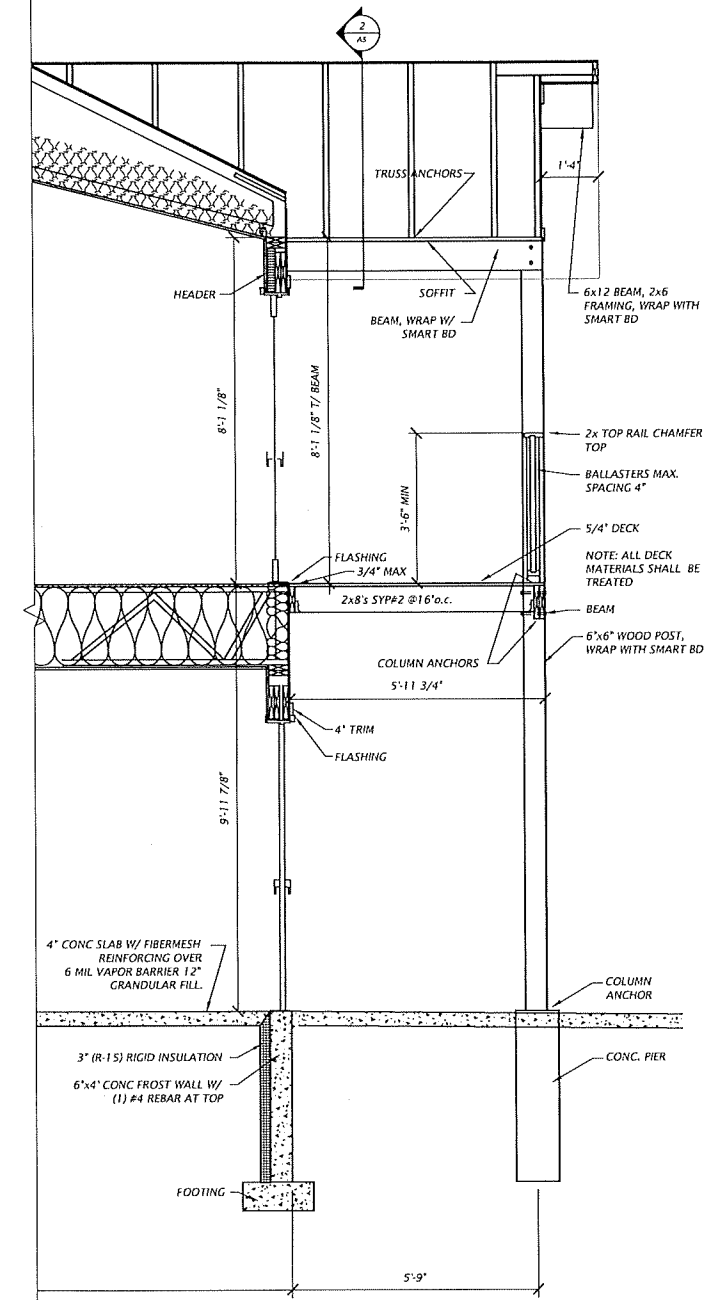




1 WALL SECTION
1/2" = 1'-0"



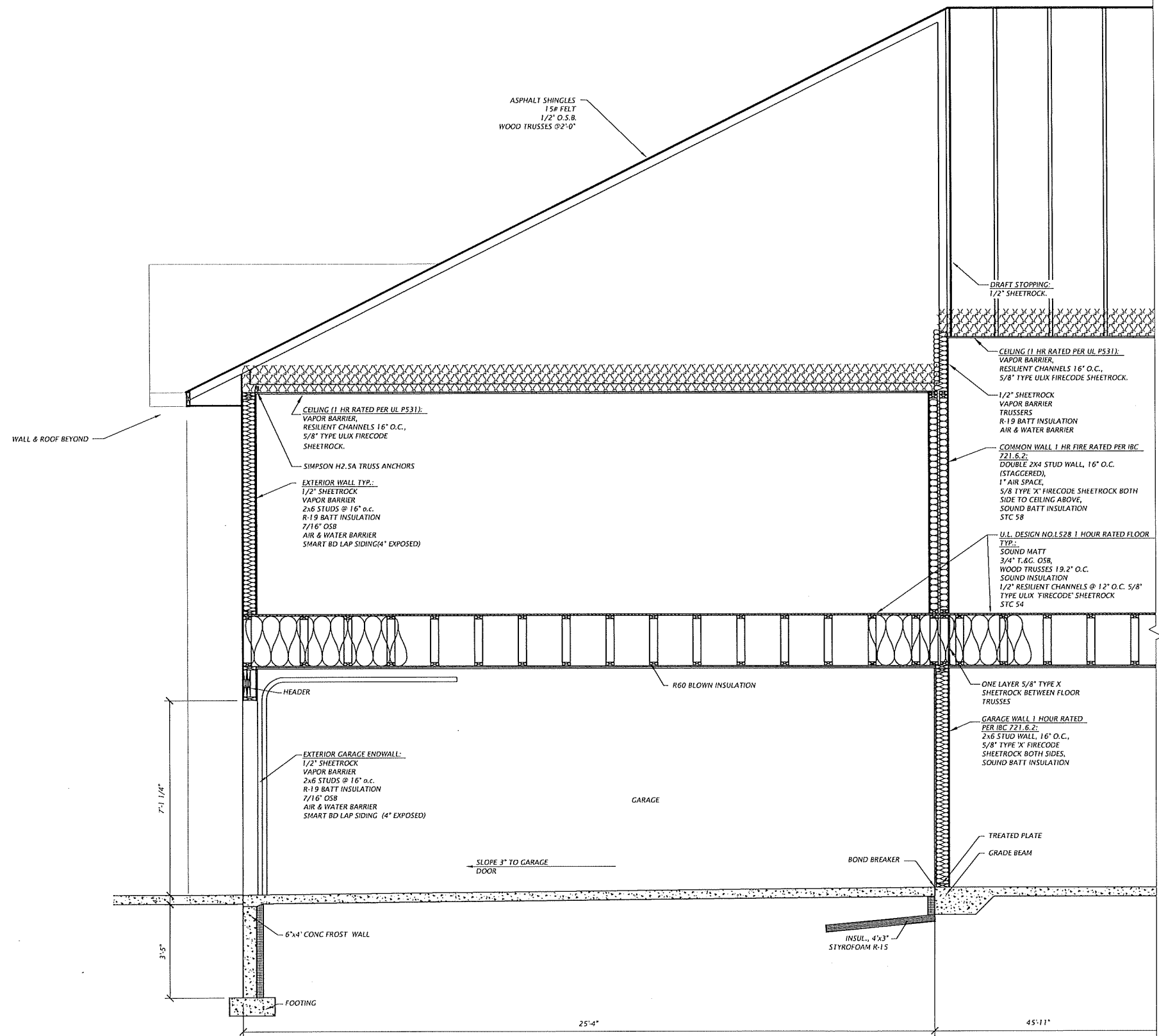
2 EAVE SECTION
1/2" = 1'-0"



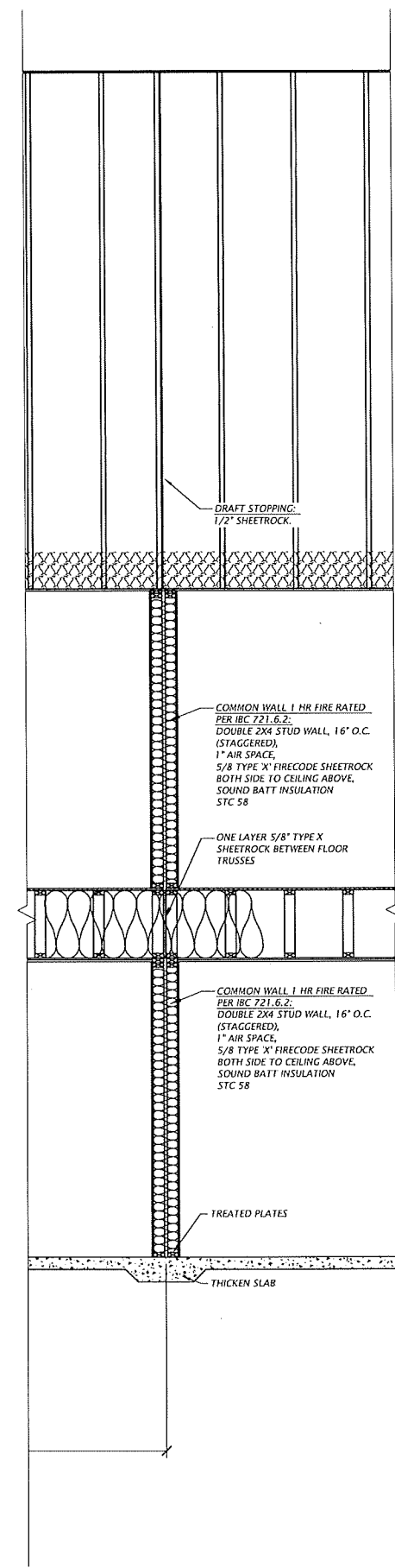
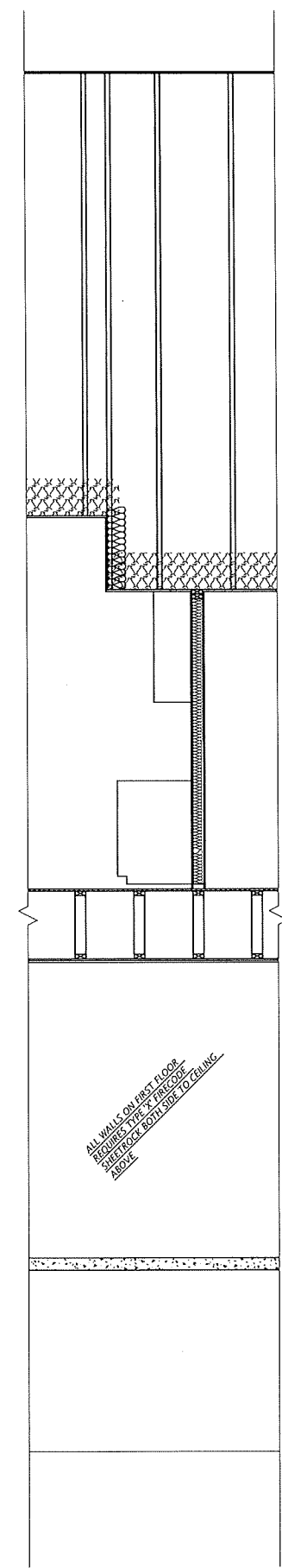
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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

WALL SECTIONS



1 WALL SECTION
1/2" = 1'-0"

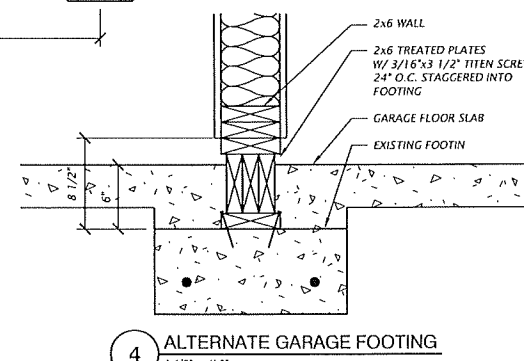
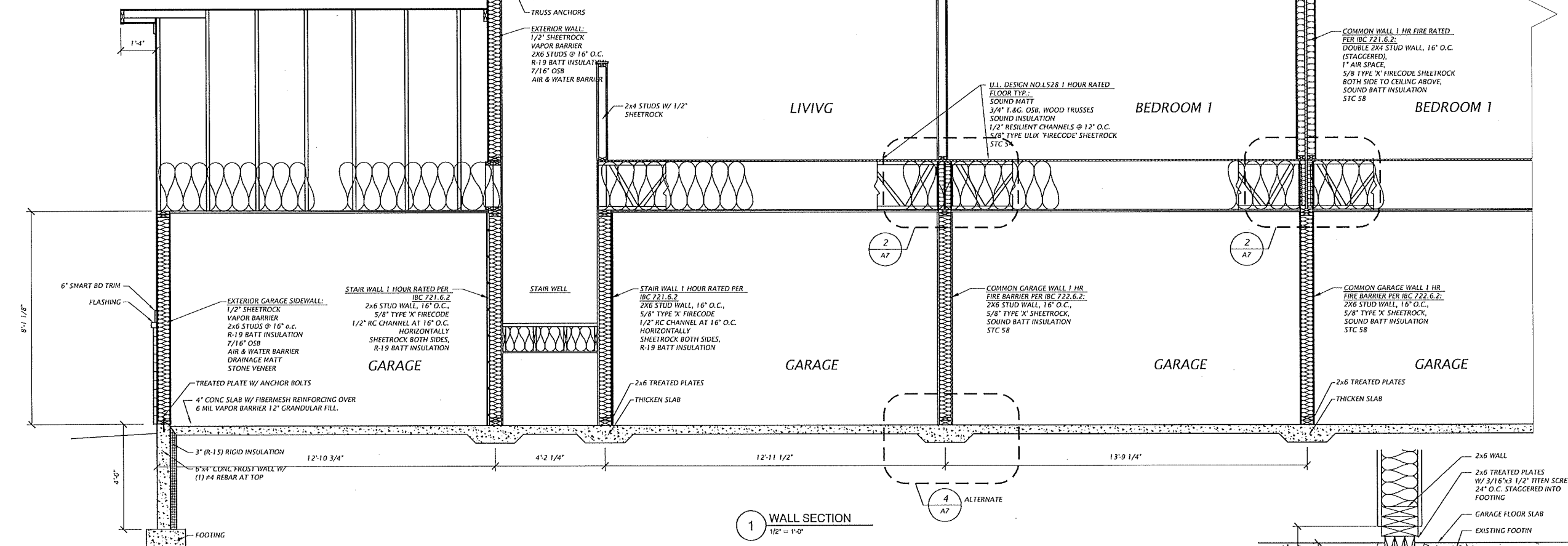
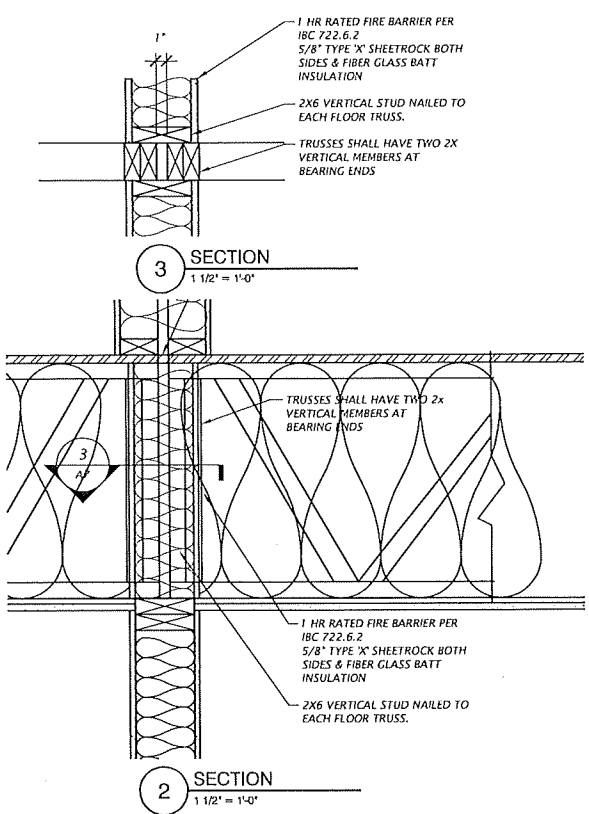


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OSCEOLA HEIGHTS -- 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

WALL SECTIONS

6-23-23
A6

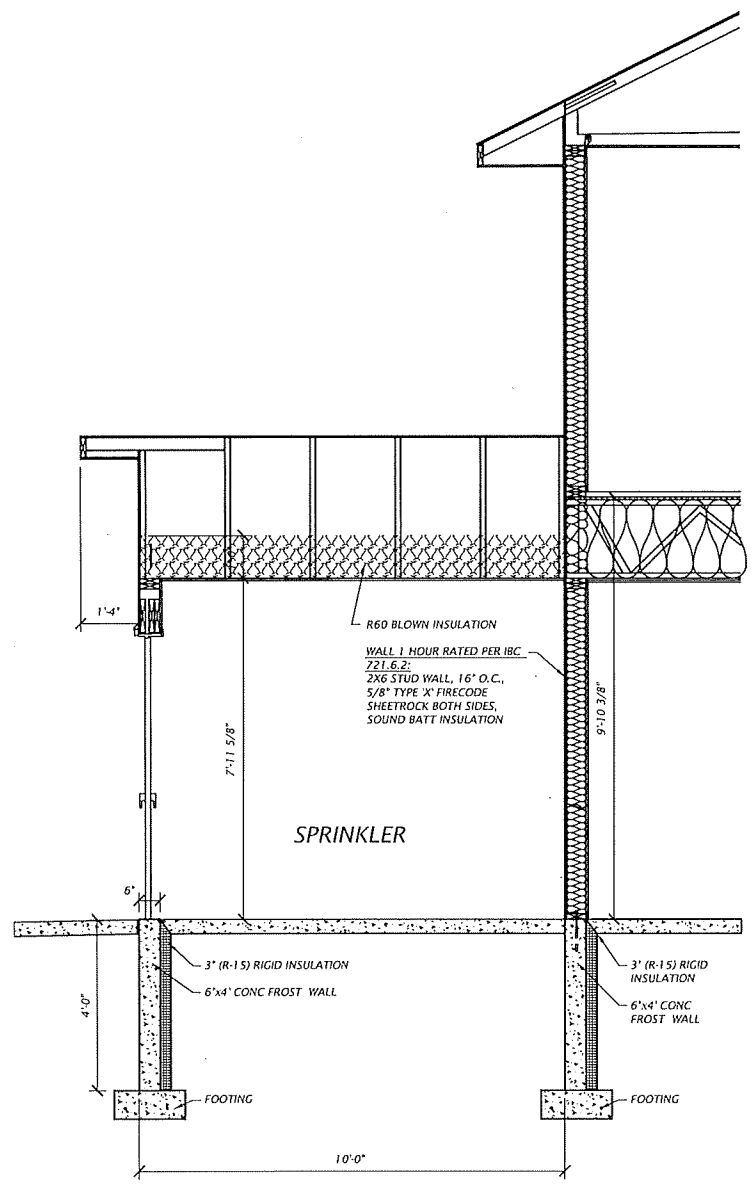


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 5201 STONEWOOD DRIVE
 EAU CLAIRE, WISCONSIN 54703
 715.828.8330
 RDJARCHITECT@GMAIL.COM

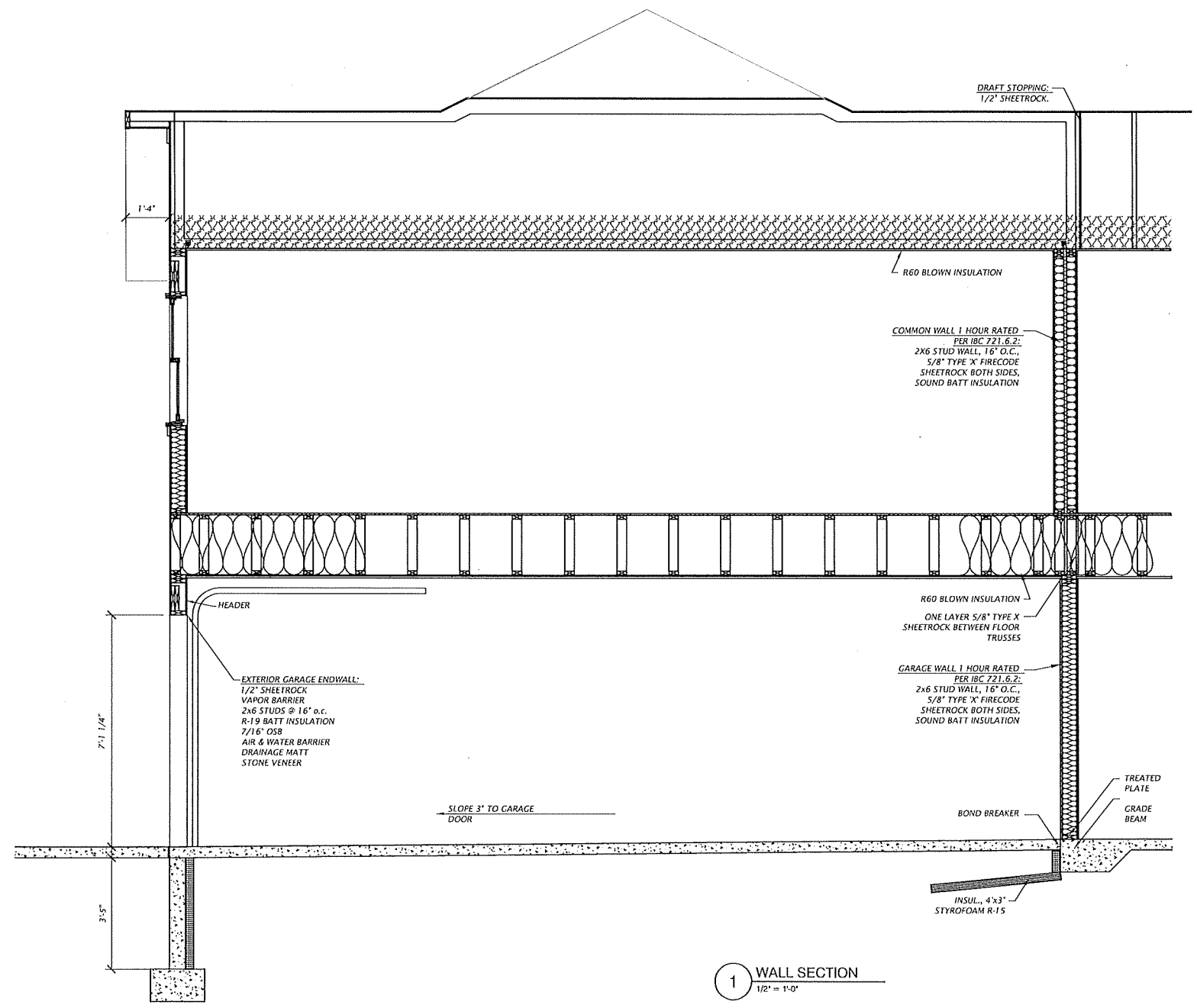
OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

WALL SECTIONS

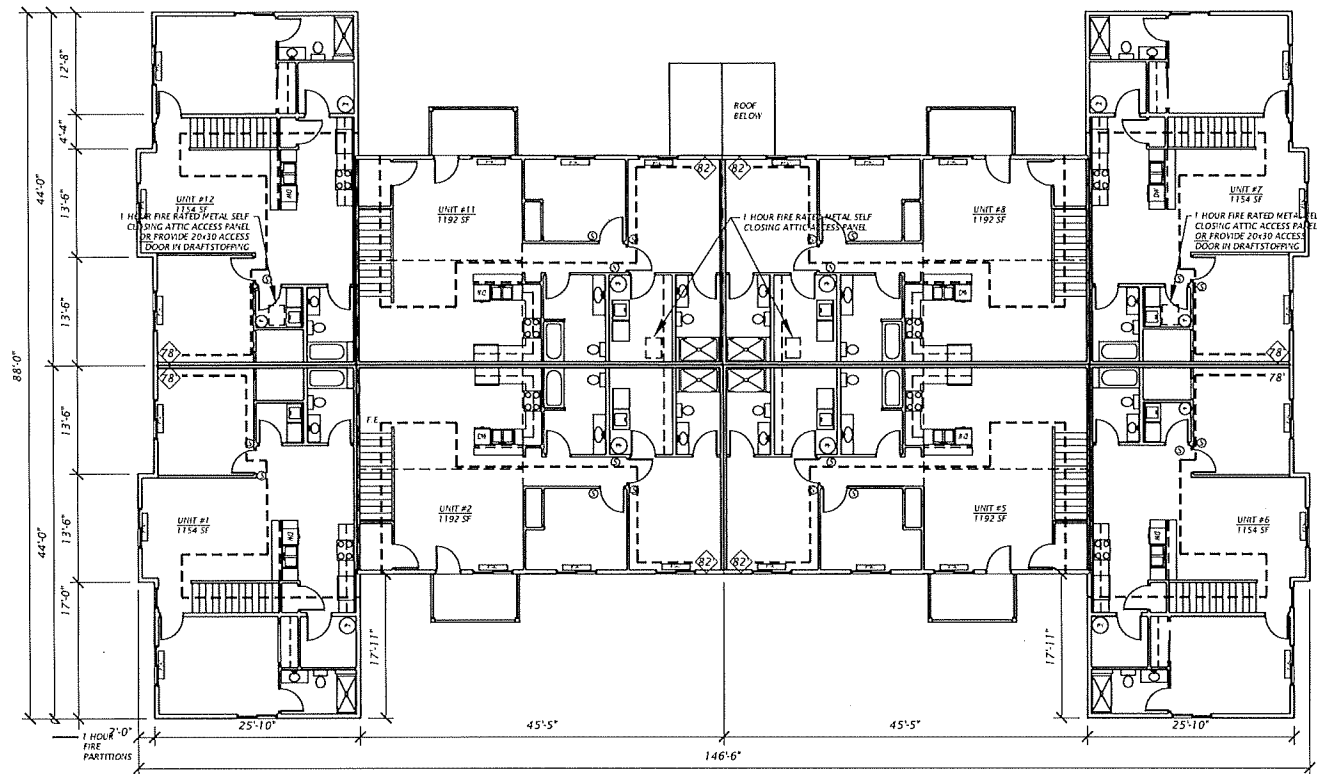
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 A7



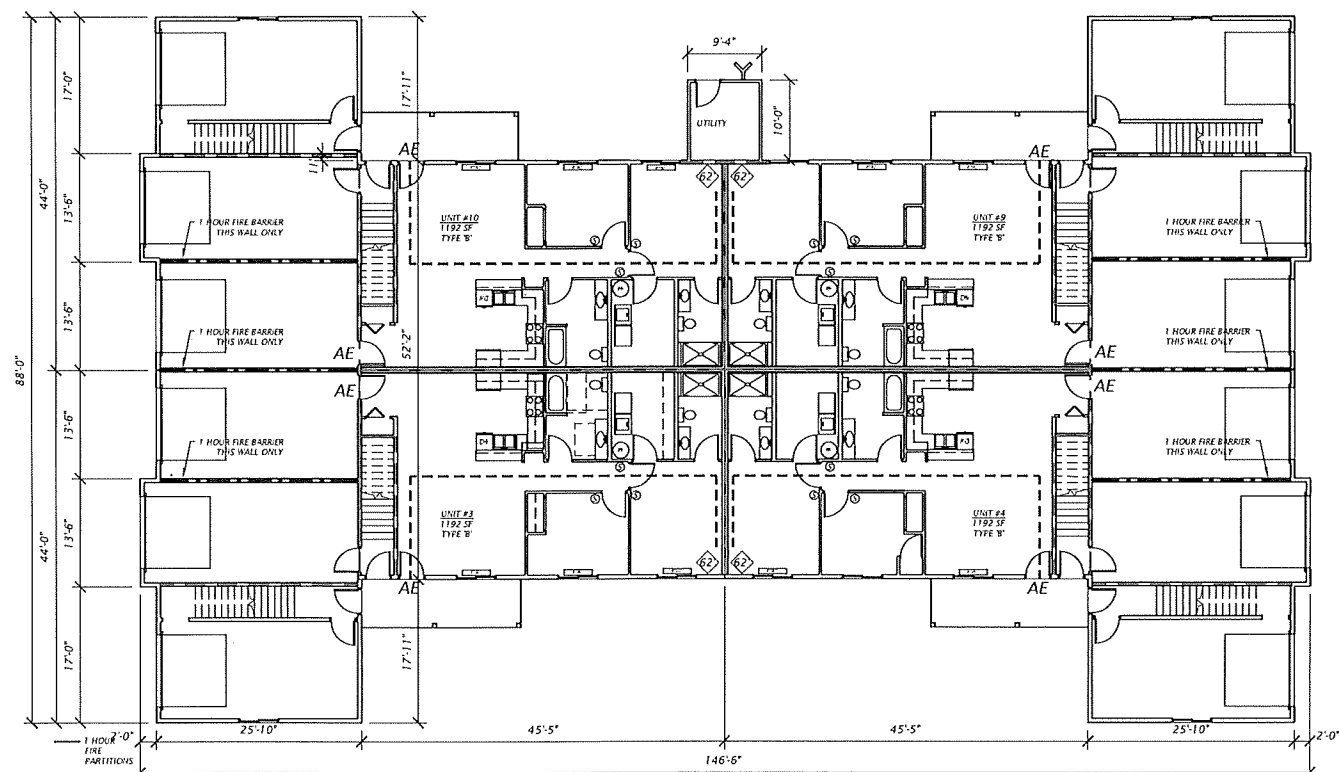
2 WALL SECTION
 1/2" = 1'-0"



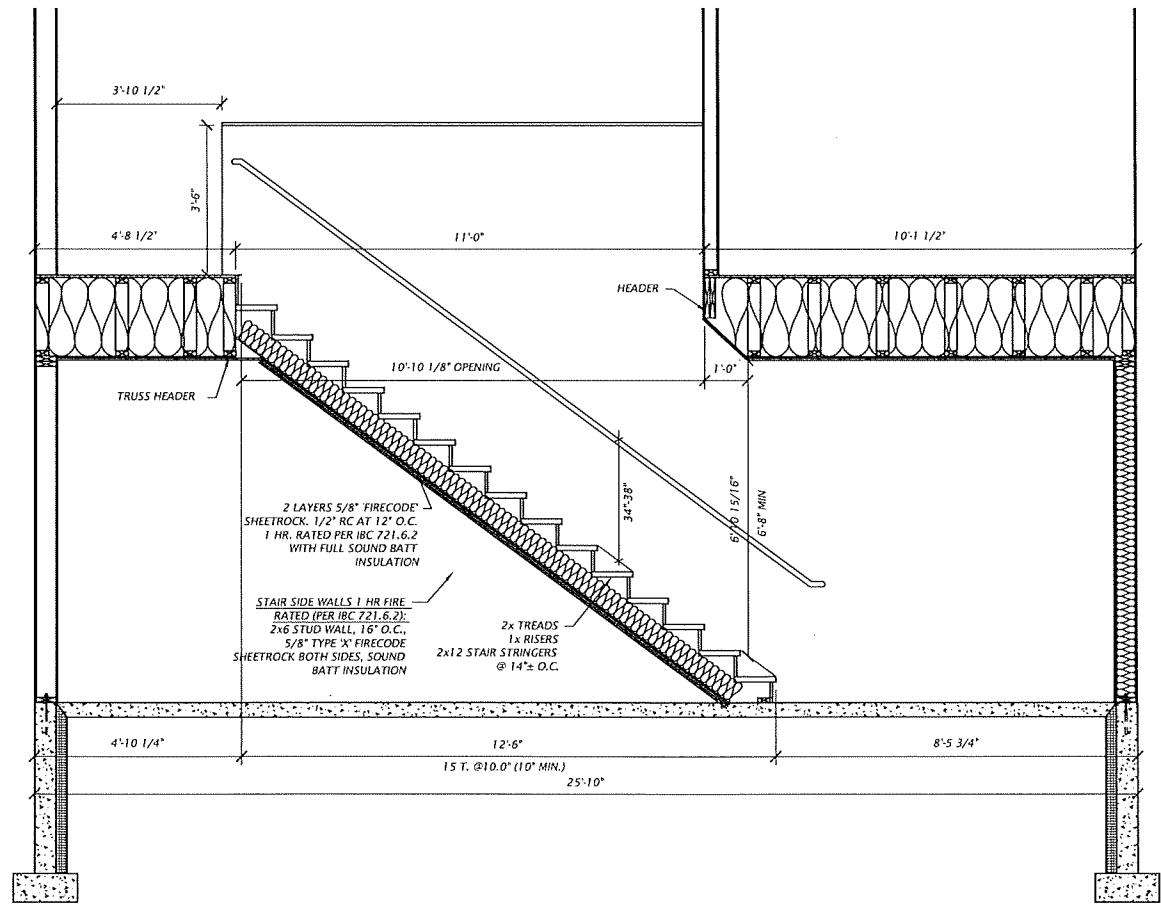
1 WALL SECTION
 1/2" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
3/32" = 1'-0"



1 GROUND FLOOR LIFE SAFETY PLAN
3/32" = 1'-0"



3 STAIR SECTION
1/2" = 1'-0"


LIFE SAFETY:
 - - - 1 HOUR RATED FIRE PARTITION (ALL FLOORS AND CEILINGS 1 HR FIRE RATED)
 - - - PATH OF EXIT TRAVEL
 ⬠ EXIT ACCESS TRAVEL DISTANCE (MAXIMUM 125')
 ⊙ SMOKE DETECTORS
 AE ACCESSIBLE ENTRANCE
 Y FIRE DEPARTMENT CONNECTION

NOTES:
 1) OCCUPANCY R-2, CONSTRUCTION TYPE V-B
 2) EXIT SIGN AND LIGHTING ALONG WITH FIRE ALARMS ARE NOT REQUIRED.
 3) PROVIDE CARBON MONOXIDE DETECTORS AS PER IBC CODES

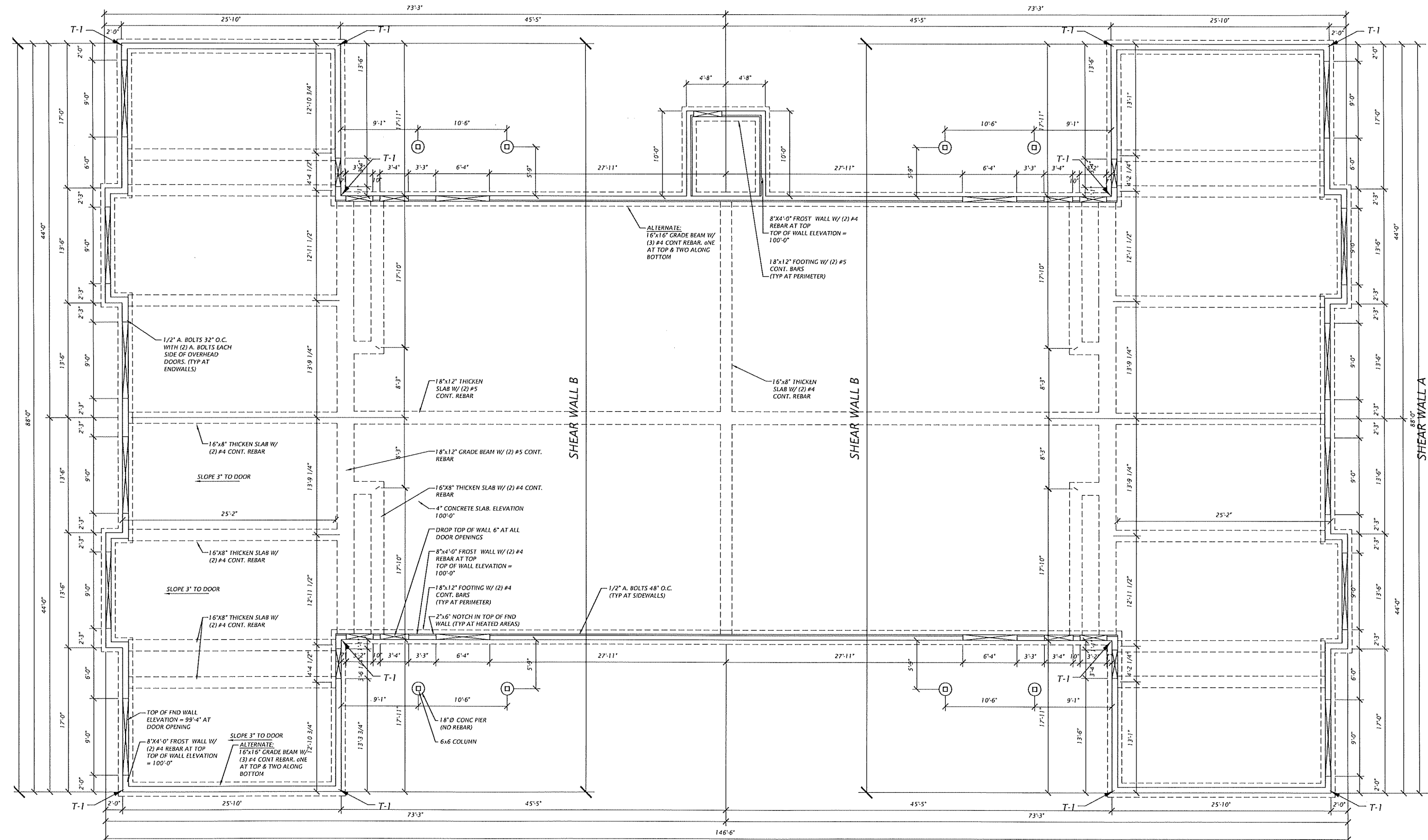
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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
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STAIR SECTION & LIFE SAFETY PLANS



 DIMENSIONS ARE TO OUTSIDE OF FND WALLS OR CENTERLINE OF INTERIOR BEARING WALLS.



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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

FOUNDATION PLAN

6-23-23
 S1

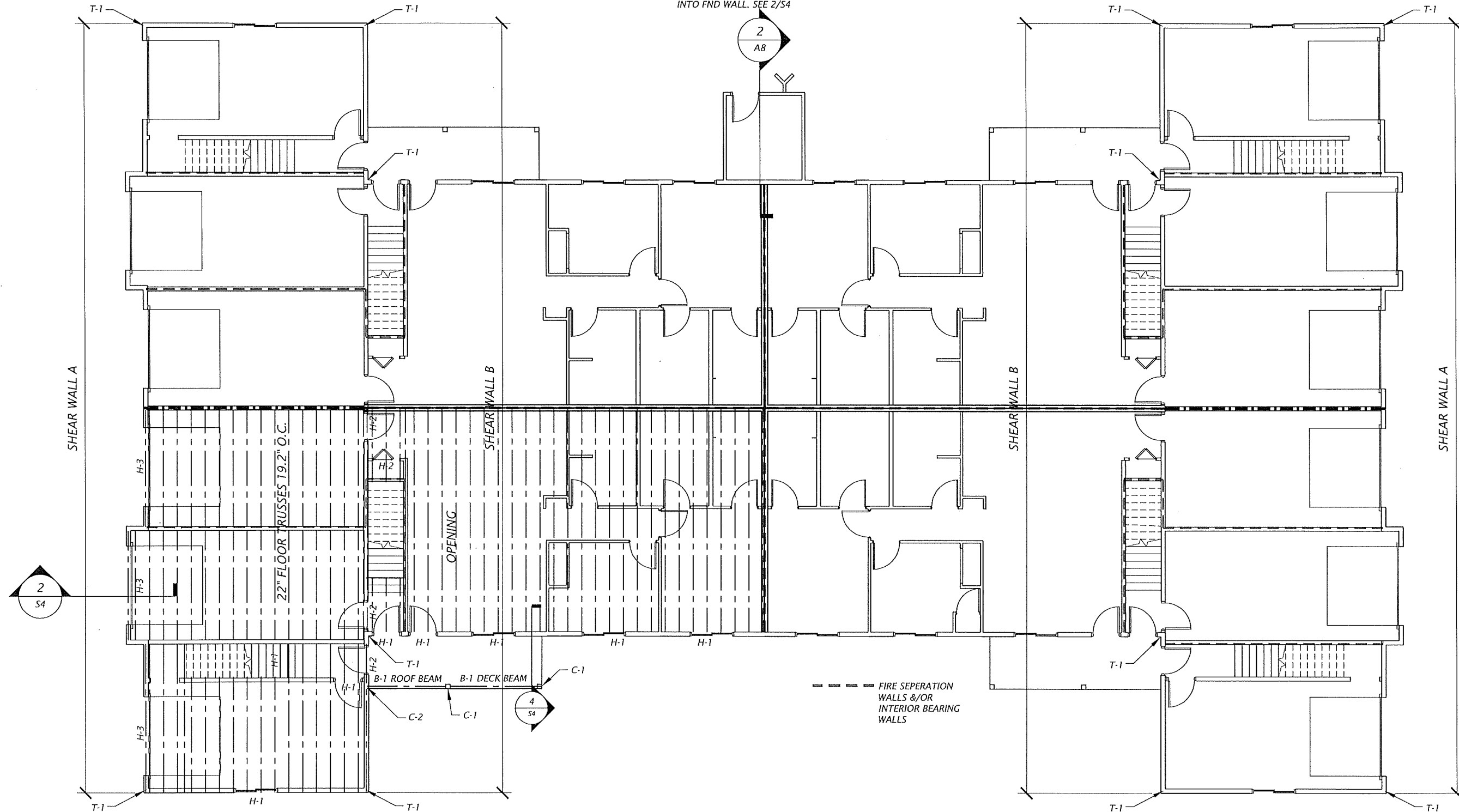
1 FOUNDATION PLAN
 3/16" = 1'-0"

SHEAR WALL A:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 SECOND FLOOR BOTTOM PLATE TO RIM USE 16d NAILS AT 12" O.C.
 1ST FLOOR BOTTOM PLATE TO FND USE 1/2" Ø A. BOLTS AT 4'-0" O.C.
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4
 T-2 USE SIMPSON MSTC40 STRAP WITH (18) 16D NAILS EACH END. SEE DETAIL 3/S4

SHEAR WALL B:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 2ND FLOOR USE 5/8" TYPE 'X' SHEETROCK WITH 6d WALL BOARD NAILS 7" O.C.
 2ND FLOOR BOTTOM PLATE TO FLOOR TRUSS OR RIM JOIST USE 16d NAILS 12" O.C.
 T-2 USE SIMPSON MSTC40 STRAP WITH (18) 16d NAILS EACH END. SEE DETAIL 3/S4
 1ST FLOOR USE 5/8" TYPE 'X' SHEETROCK WITH WALL BOARD NAILS 7" O.C.
 1ST FLOOR BOTTOM PLATE TO FND USE 1/2" Ø A. BOLTS OR 1/2"x5" TITAN HD SCREW ANCHORS AT 4'-0" O.C.
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4

STRUCTURAL MEMBER SCHEDULE
 B-1 (2) PLY 2x12 SPF #2
 H-1 (3) PLY 2x10 SPF #2, (2) STUD BEARING
 H-2 (2) PLY 2x10 SPF #2, (2) STUD BEARING
 H-3 (3) PLY 1 3/4"x9 1/4" LVL 1.8E, (2) STUD BEARING
 C-1 6x6 SYP #2 TREATED
 C-2 (2) PLY 2x6 SPF #2

TIE DOWNS:
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4
 T-2 USE SIMPSON MSTC40 STRAP WITH (10) 16d NAILS EACH END. SEE DETAIL 3/S4



--- FIRE SEPERATION WALLS &/OR INTERIOR BEARING WALLS

1 FLOOR FRAMING PLAN
 3/16" = 1'-0"

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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

FLOOR FRAMING PLAN

5-23-23
 S2

SHEAR WALL A:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 SECOND FLOOR BOTTOM PLATE TO RIM USE 16d NAILS AT 12" O.C.
 1ST FLOOR BOTTOM PLATE TO FND USE 1/2" Ø A. BOLTS AT 4'-0" O.C.
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4
 T-2 USE SIMPSON MSTC40 STRAP WITH (18) 16D NAILS EACH END. SEE DETAIL 3/S4

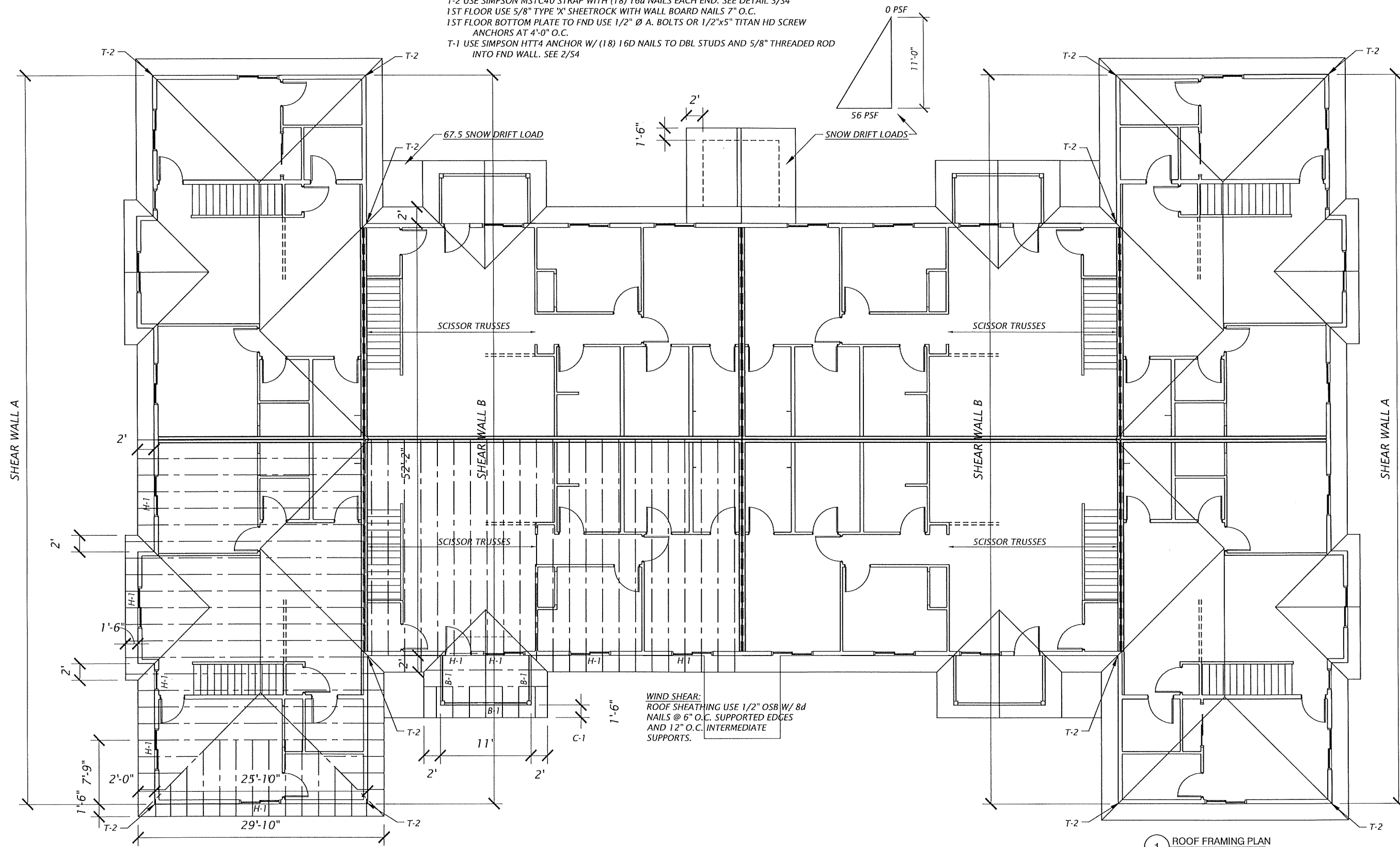
SHEAR WALL B:
 7/16" OSB SHEATHING W/ 8D NAILS 6" O.C. ALL SUPPORTS.
 2ND FLOOR USE 5/8" TYPE 'X' SHEETROCK WITH 6d WALL BOARD NAILS 7" O.C.
 2ND FLOOR BOTTOM PLATE TO FLOOR TRUSS OR RIM JOIST USE 16d NAILS 12" O.C.
 T-2 USE SIMPSON MSTC40 STRAP WITH (18) 16d NAILS EACH END. SEE DETAIL 3/S4
 1ST FLOOR USE 5/8" TYPE 'X' SHEETROCK WITH WALL BOARD NAILS 7" O.C.
 1ST FLOOR BOTTOM PLATE TO FND USE 1/2" Ø A. BOLTS OR 1/2"x5" TITAN HD SCREW ANCHORS AT 4'-0" O.C.
 T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4

STRUCTURAL MEMBER SCHEDULE

- B-1 (2) PLY 2x12 SPF #2
- H-1 (3) PLY 2x10 SPF #2, (2) STUD BEARING
- H-2 (2) PLY 2x10 SPF #2, (2) STUD BEARING
- H-3 (3) PLY 1 3/4"x9 1/4" LVL 1.8E, (2) STUD BEARING
- C-1 6x6 SYP #2 TREATED
- C-2 (2) PLY 2x6 SPF #2

TIE DOWNS:

- T-1 USE SIMPSON HTT4 ANCHOR W/ (18) 16D NAILS TO DBL STUDS AND 5/8" THREADED ROD INTO FND WALL. SEE 2/S4
- T-2 USE SIMPSON MSTC40 STRAP WITH (10) 16d NAILS EACH END. SEE DETAIL 3/S4



WIND SHEAR:
 ROOF SHEATHING USE 1/2" OSB W/ 8d NAILS @ 6" O.C. SUPPORTED EDGES AND 12" O.C. INTERMEDIATE SUPPORTS.

1 ROOF FRAMING PLAN
 3/16" = 1'-0"

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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

ROOF FRAMING PLAN

STRUCTURAL GENERAL NOTES:

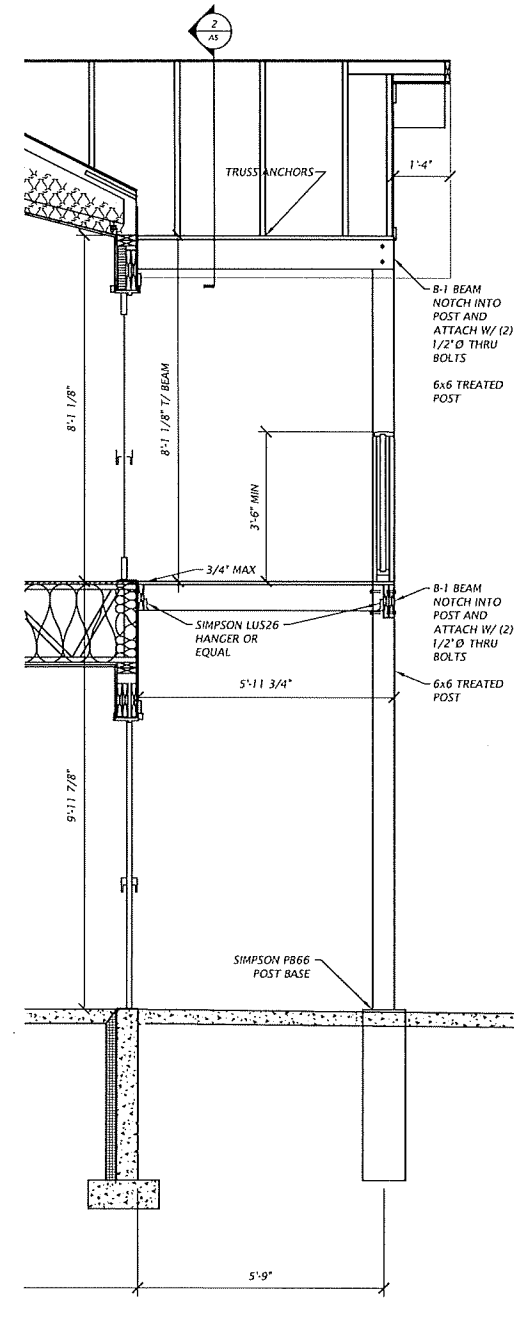
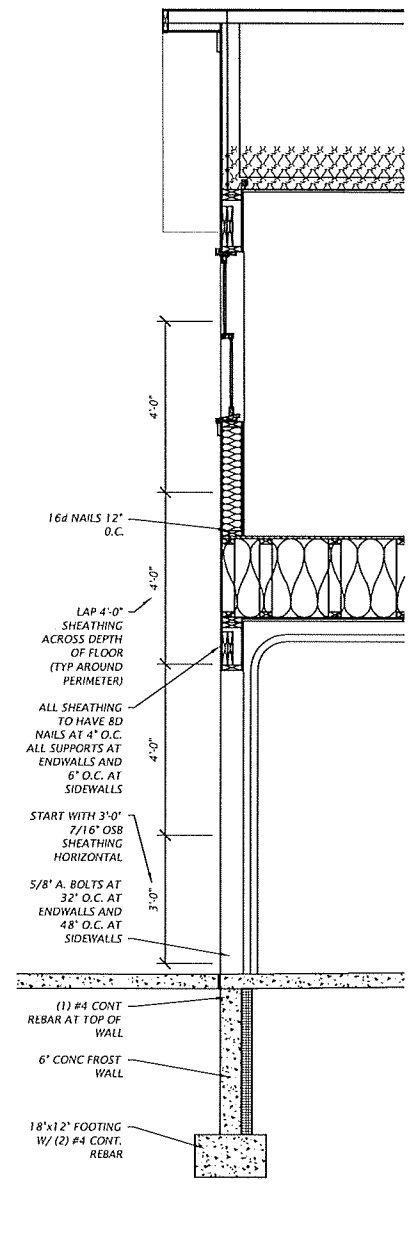
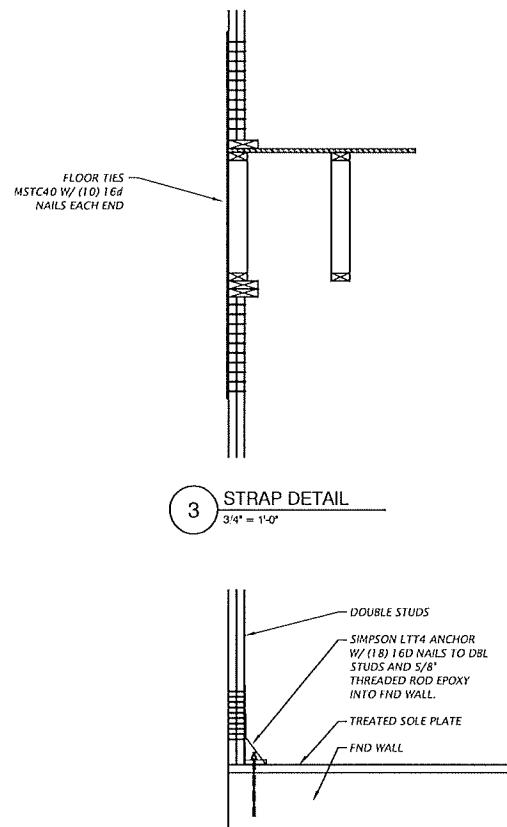
- THE FOLLOWING GENERAL NOTES FOR THIS PROJECT SHALL APPLY TO ALL CONTRACTORS & SUPPLIERS INVOLVED IN EXECUTION OF THE WORK SHOWN ON THESE DOCUMENTS. THESE NOTES ARE TO BE INCLUDED WITH ALL DRAWINGS, SPECIFICATIONS, ADDENDA, BULLETINS, AND PROJECT SUPPLEMENTS AS THE ENTIRE SET OF CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - PLANS AND SPECIFICATIONS
 - GOVERNING STATE, LOCAL AND MUNICIPAL CODES, 2015 INTERNATIONAL BUILDING CODE (IBC)
 - AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
 - OCCUPATIONAL SAFETY AND HEALTH (OSHA)
 - CONCRETE CONSTRUCTION:
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - MASONRY CONSTRUCTION:
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - THE MASONRY SOCIETY (TMS)
 - STRUCTURAL ENGINEERING INSTITUTE (SEI)
 - INTERNATIONAL MASONRY INSTITUTE (IMI)
 - STRUCTURAL AND MISCELLANEOUS STEEL WORK:
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
 - AMERICAN WELDING SOCIETY (AWS)
 - SOCIETY FOR PROTECTIVE COATINGS (SSPC)
 - STEEL JOISTS, STEEL DECK AND ACCESSORIES:
 - STEEL JOIST INSTITUTE (SJI)
 - STEEL DECK INSTITUTE (SDI)
 - COLD FORMED METAL FRAMING:
 - AMERICAN IRON AND STEEL INSTITUTE (AISI)

CONTRACTOR MUST BE FAMILIAR WITH ALL OF THE ITEMS ABOVE. ARCHITECT AND/OR ENGINEER OBSERVATIONS/INVESTIGATIONS WILL BE IN CONFORMANCE WITH THE ABOVE.

- SEE ARCHITECTURAL, CIVIL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SECTIONS OR NOTES CALLED OUT ON PLAN SHALL APPLY TO ALL SIMILAR LOCATIONS ON THE BUILDING U.N.D.
- DESIGN DATA:

DEAD LOADS:	
ROOF DEAD LOAD.....	17 PSF
FLOOR DEAD LOAD.....	15 PSF
ROOF LIVE LOADS:	
GROUND SNOW LOAD (PG).....	50 PSF
EXPOSURE FACTOR (CE).....	1.0
THERMAL FACTOR (CT).....	1.1
IMPORTANCE FACTOR (IS).....	1.0
TYPICAL ROOF DESIGN LOAD (PF).....	38.5 PSF
FLOOR / MEZZANINE LIVE LOADS:	
FLOOR.....	40 PSF
INTERIOR PARTITIONS.....	15 PSF
STAIRS.....	40 PSF
WIND LOADS:	
BASIC WIND SPEED (3-SECOND GUST).....	115 MPH
IMPORTANCE FACTOR (IW).....	1.0
BUILDING CLASSIFICATION.....	CATEGORY II
WIND EXPOSURE CATEGORY.....	B
INTERNAL PRESSURE COEFFICIENT (GCPI).....	±0.18
SEISMIC LOADS:	
SEISMIC USE GROUP.....	GROUP I
SEISMIC DESIGN CATEGORY.....	B
SI = 3.1%	
SS = 6.2%	
SITE CLASS.....	D (ASSUMED)
SEISMIC FORCE RESISTING SYSTEM:	
LIGHT FRAME WALLS W/ SHEAR PANELS	
RESPONSE MODIFICATION FACTOR.....	R = 2
DEFLECTION AMPLIFICATION FACTOR.....	CD = 2
STRUCTURAL SYSTEM & BUILDING HEIGHT LIMITATIONS.....	NL
BASE SHEAR (CS = 0.070).....	0.070 W KIPS
ANALYSIS PROCEDURE:	
EQUIVALENT LATERAL FORCE ANALYSIS PER IBC 1617.4	
- DESIGN CRITERIA

SOIL DESIGN BEARING PRESSURE.....	3,000 PSF
CONCRETE: (NORMAL WEIGHT U.N.D.)	
CONVENTIONAL COLUMN & WALL FOOTINGS, SIDEWALKS.....	FC = 3,000 PSI
SLAB ON GRADE, ELEVATED SLABS, WALLS, GRADE BEAMS.....	FC = 4,000 PSI
MASONRY: (NORMAL WEIGHT U.N.D.)	
CONCRETE MASONRY UNITS - ASTM C-90.....	F'M = 1,500 PSI
MORTAR - ASTM C270 TYPE S.....	1,800 PSI
GROUT, BLOCK CORE FILL.....	2,000 PSI
- EXECUTION: CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, SECTIONS, AND DETAILS BETWEEN ARCHITECTURAL, MECHANICAL, AND STRUCTURAL DRAWINGS. ARCHITECT AND STRUCTURAL ENGINEER SHALL BE NOTIFIED OF ANY VARIANCE THAT WILL AFFECT THE BUILDING'S STRUCTURE BEFORE CONTRACTOR BEGINS WORK. ALL EQUIPMENT SUPPORTS AND ANCHORAGES SHALL BE VERIFIED WITH MANUFACTURER'S DRAWINGS. CONTRACTORS SHALL VERIFY ALL PROFILES, HEIGHTS AND DIMENSIONS AT PROJECT SITE PRIOR TO FABRICATION OF ANY MATERIAL AND INFORM THE ARCHITECT, STRUCTURAL, OR MECHANICAL ENGINEER OF ANY DISCREPANCIES OR FRAMING INTERFERENCES.
- SHOP DRAWINGS: GENERAL CONTRACTOR SHALL REVIEW & STAMP SHOP DRAWINGS BEFORE SUBMITTAL TO ENGINEER. FABRICATION SHALL NOT PROCEED PRIOR TO APPROVAL. ALL SHOP DRAWINGS SHALL CONTAIN THE ORIGINAL ISSUANCE DATE OF THE COMPLETED CONSTRUCTION DOCUMENTS, ALONG WITH ANY ADDENDA, REVISIONS, BULLETINS, OR SUPPLEMENTS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR THE FOLLOWING COMPONENTS:
 - SOIL BEARING TEST
 - CONCRETE MIX DESIGNS
 - STRUCTURAL MASONRY COMPRESSIVE STRENGTH REPORTS
 - REINFORCING STEEL
 - STRUCTURAL STEEL
 - STEEL JOISTS AND GIRDERS
 - STEEL DECKING
 - METAL FABRICATIONS
 - COLD FORMED METAL FRAMING
 - PRECAST CONCRETE
- CONSTRUCTION LOADS ARE TYPICALLY ANTICIPATED TO BE 25 PSF. AT NO TIME SHALL CONSTRUCTION LOADS EXCEED DESIGN LOADS LISTED IN DESIGN DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING CONSTRUCTION EQUIPMENT LOADS PRIOR TO USE ON ANY STRUCTURAL COMPONENT OF THE BUILDING. CONCRETE SLABS SHALL BE AT 75% OF ITS DESIGN STRENGTH (7 DAY CURE TIME MINIMUM) BEFORE SUPPORTING ANY EQUIPMENT.
- CONNECTIONS FOR SUPPORT OF ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS TO STRUCTURAL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH DETAILS SHOWN ON ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. HANG ALL EQUIPMENT FROM JOIST TOP CHORD. HANG ALL PIPING LARGER THAN 2" DIA. FROM JOIST TOP CHORD AND ALL PRIMARY PIPING GREATER THAN 6" FROM TWO JOISTS (FROM TOP CHORDS). ALL SECONDARY PIPING, DUCTWORK, ELECTRICAL AND CEILINGS MAY BE HUNG FROM JOIST BOTTOM CHORD.









VILLAGE OF OSCEOLA SERVICE CENTER GARAGE SITE

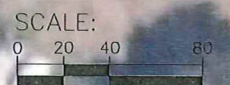
PRAIRIE GRASS DRIVE



KREEKVIEW DRIVE

PHEASANT RUN DRIVE

SIMMON DRIVE



CERTIFIED SURVEY MAP NO. _____

LOCATED IN PART OF THE NE1/4 OF THE SW1/4 AND PART OF THE SE1/4 OF THE SW1/4 OF SECTION 27, T33N, R19W, VILLAGE OF OSCEOLA, POLK COUNTY, WISCONSIN; BEING PART OF OUTLOT 162 AND PART OF OUTLOT 176 OF THE OUTLOT PLAT OF THE VILLAGE OF OSCEOLA.

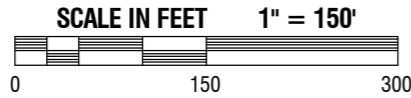
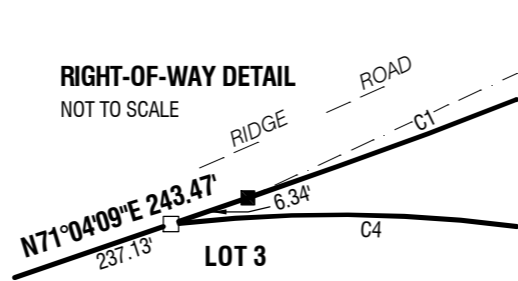
SURVEYOR:
EDWIN C FLANUM
NORTHLAND SURVEYING, INC.
P.O. BOX 152
AMERY, WI 54001

PH. 715-268-2454
www.northlandsurveying.com

OWNERS
VILLAGE OF OSCEOLA
310 CHIEFTAN STREET
OSCEOLA, WI 54020

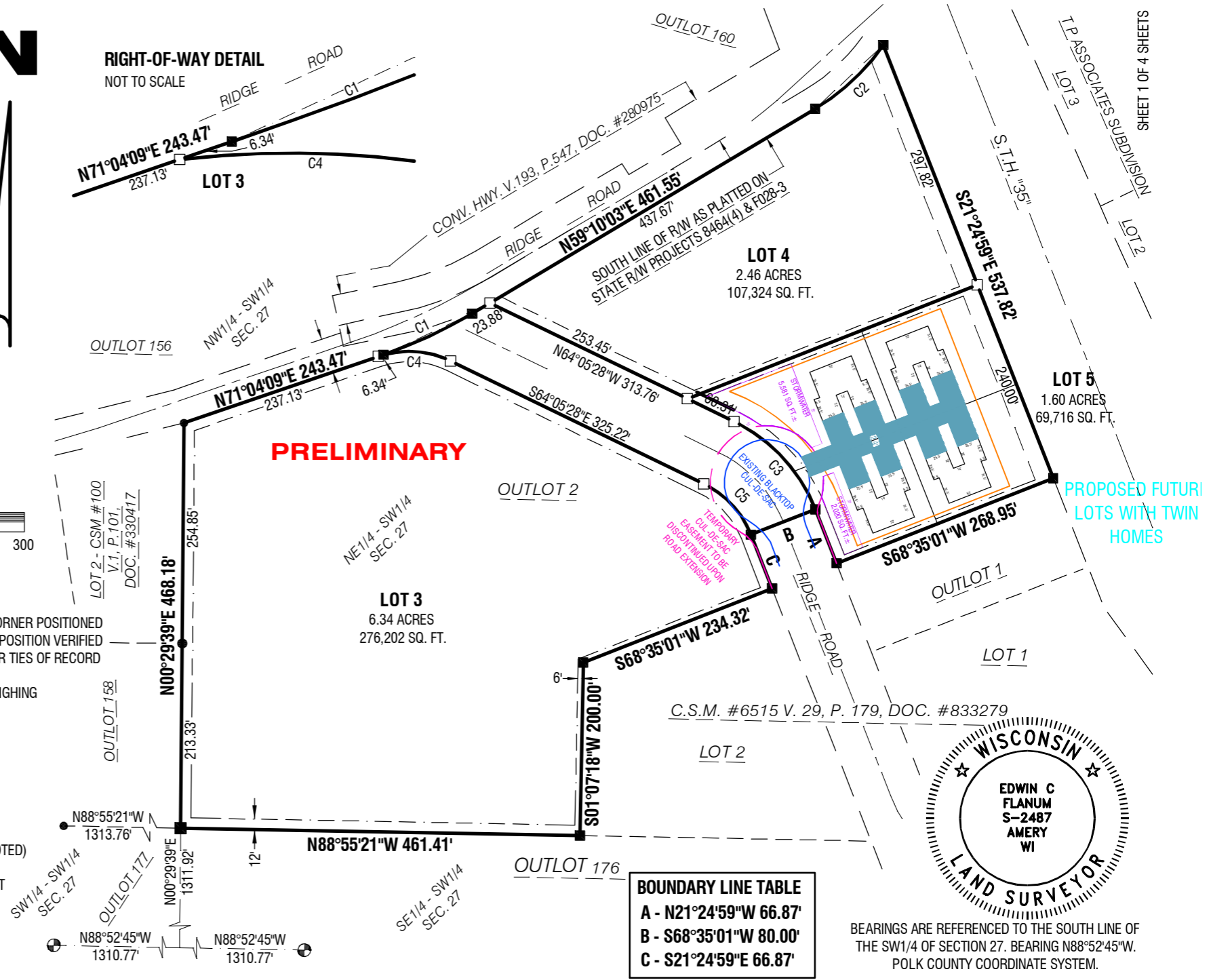


RIGHT-OF-WAY DETAIL
NOT TO SCALE



LEGEND

- ST. CROIX COUNTY SECTION CORNER POSITIONED FROM COUNTY COORDINATES. POSITION VERIFIED WITH MONUMENT AS NOTED OR TIES OF RECORD
- 3/4" X 18" IRON REBAR SET WEIGHING 1.50 LBS. PER LINEAR FOOT
- 3/4" IRON REBAR FOUND
- 1 1/4" IRON REBAR FOUND
- 1 5/16" IRON PIPE FOUND
- 2" IRON PIPE FOUND (OR AS NOTED)
- UTILITY & DRAINAGE EASEMENT WIDTH AS SHOWN



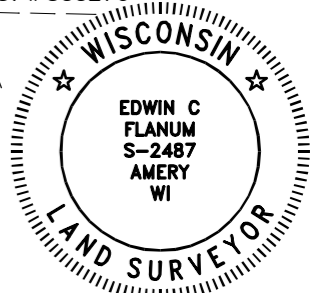
PRELIMINARY

PROPOSED FUTURE LOTS WITH TWIN HOMES

BOUNDARY LINE TABLE

A	- N21°24'59"W 66.87'
B	- S68°35'01"W 80.00'
C	- S21°24'59"E 66.87'

BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SW1/4 OF SECTION 27. BEARING N88°52'45"W. POLK COUNTY COORDINATE SYSTEM.



FOR BIDDING ONLY
NOT FOR CONSTRUCTION



REAR ELEVATION 1/8" = 1'-0"



LEFT ELEVATION 1/8" = 1'-0"



RIGHT ELEVATION 1/8" = 1'-0"



FRONT ELEVATION 1/4" = 1'-0"

4'-0" POURED CONC. FOUNDATION
8'-1 1/8" CEILING @ MAIN LEVEL
8'-1 1/8" CEILING @ UPPER LEVEL

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Iain's Drawing Room, LLC
RESIDENTIAL
DESIGN
& CONSTRUCTION
iain@iainsdrawingroom.com
C. 817.761.8822 B. 817.833.024



10/17/2021 10:42:22

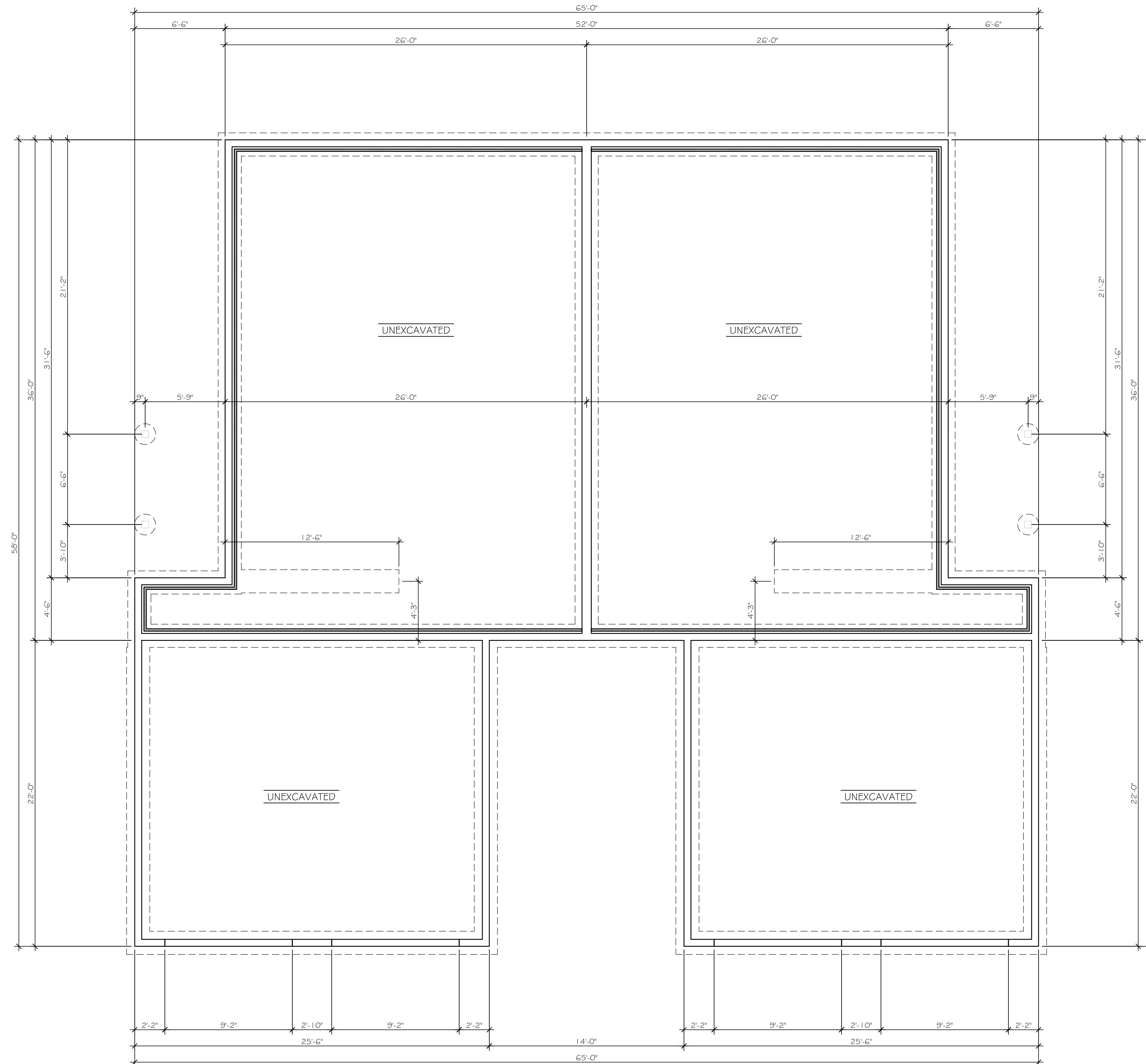
RESIDENCE FOR:
QUAD UNIT
SITE ADDRESS

PROJECT / Q. FT.	
UNIT 'A'	
MAIN	895
GARAGE	280.5
UNIT 'B'	
MAIN	895
GARAGE	280.5
UNIT 'C'	
MAIN	966
GARAGE	280.5
UNIT 'D'	
MAIN	966
GARAGE	280.5

SHEET:
1 OF

#22-152 CEJ

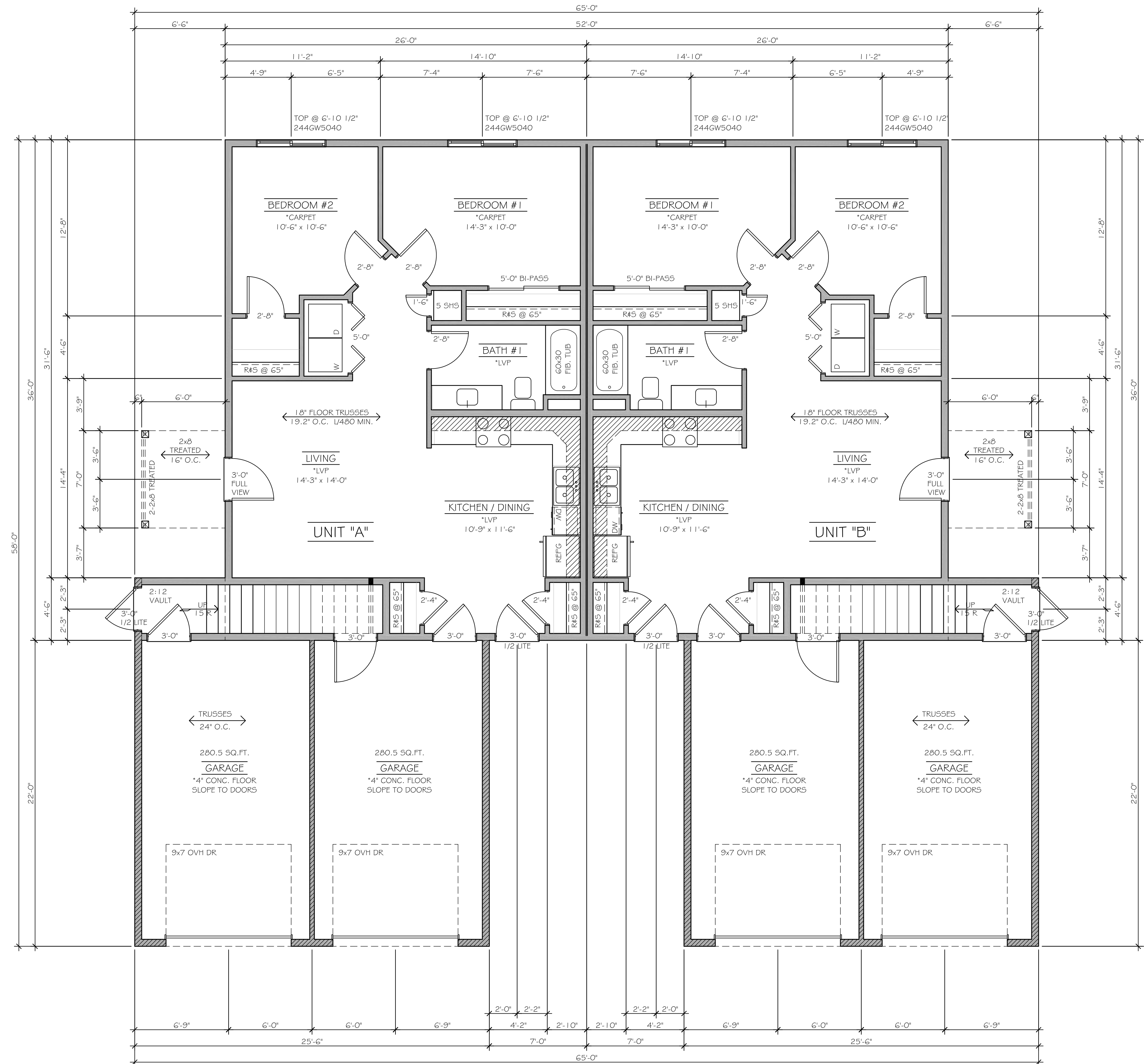
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LOWER LEVEL PLAN 1/4" = 1'-0"
4'-0" POURED CONC. FOUNDATION

PROJECT / Q. FT.	UNIT 'A'
MAIN	895
GARAGE	280.5
UNIT 'B'	
MAIN	895
GARAGE	280.5
UNIT 'C'	
MAIN	966
GARAGE	280.5
UNIT 'D'	
MAIN	966
GARAGE	280.5

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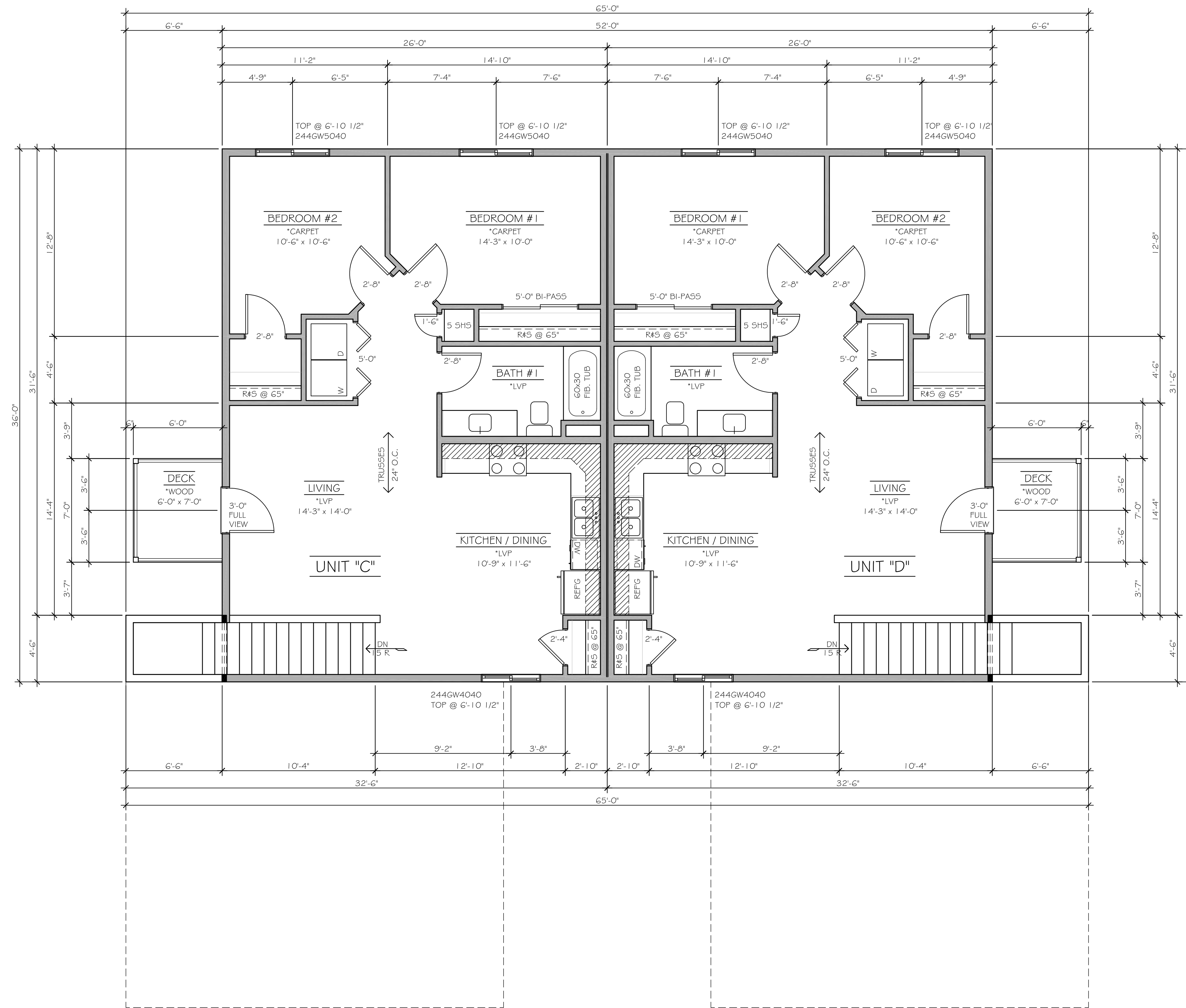


MAIN LEVEL PLAN 1/4" = 1'-0"
8'-1 1/8" CEILING @ MAIN LEVEL

GARAGE WALLS - 9'-1 1/8" OFF CURB

PROJECT / Q. FT.	UNIT "A"
MAIN	895
GARAGE	280.5
UNIT "B"	
MAIN	895
GARAGE	280.5
UNIT "C"	
MAIN	966
GARAGE	280.5
UNIT "D"	
MAIN	966
GARAGE	280.5

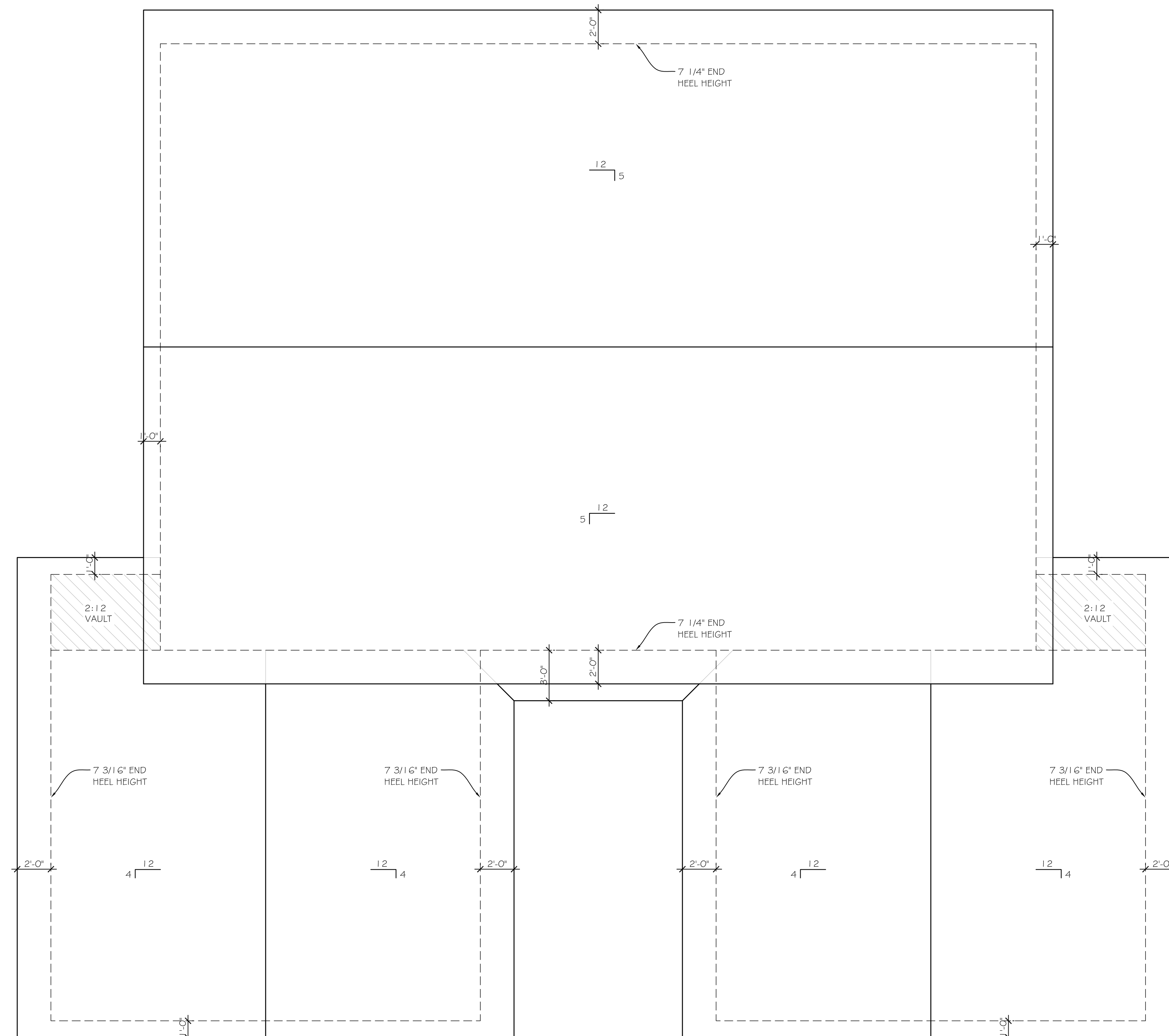
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NOT FOR CONSTRUCTION



UPPER LEVEL PLAN 1/4" = 1'-0"
8'-1 1/8" CEILING @ UPPER LEVEL

PROJECT / Q. FT.	
UNIT 'A'	
MAIN	895
GARAGE	280.5
UNIT 'B'	
MAIN	895
GARAGE	280.5
UNIT 'C'	
MAIN	966
GARAGE	280.5
UNIT 'D'	
MAIN	966
GARAGE	280.5

FOR BIDDING ONLY
NOT FOR CONSTRUCTION



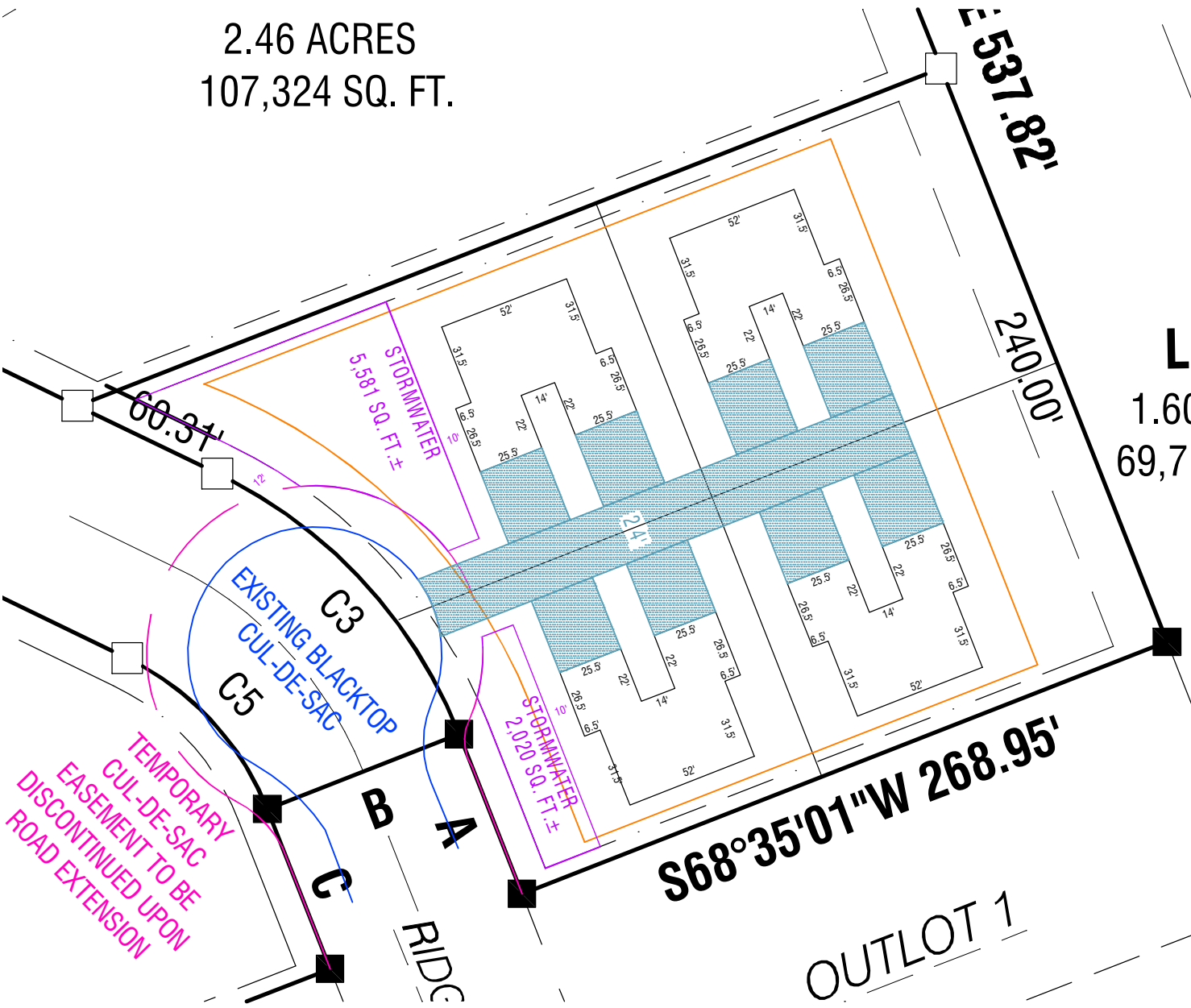
ROOF PLAN 1/4" = 1'-0"

PROJECT / Q. FT.	
UNIT 'A'	
MAIN	895
GARAGE	280.5
UNIT 'B'	
MAIN	895
GARAGE	280.5
UNIT 'C'	
MAIN	966
GARAGE	280.5
UNIT 'D'	
MAIN	966
GARAGE	280.5

2.46 ACRES
107,324 SQ. FT.

LOT 5
1.60 ACRES
69,716 SQ. FT.

PROPOSED FUTURE
LOTS WITH TWIN
HOMES



PLAN COMMISSION MEETING PROCEEDINGS

May 24th, 2023

The Plan Commission of the Village of Osceola met on June 20th, 2023 to hold a special board meeting member Gilliland called the meeting to order at 6:00 p.m.

Present: Deb Rose, Dennis Tomfohrde, Bruce Gilliland, Deb Rose, Rob Bullard
Excused: Bill Chantelois V, Kim O'Connell
Staff present: Devin Swanberg, Adam Ruchel
Others present: Holly Walsh

Motion to approve the agenda was made by Bullard, second by Rose motion passed 5-0

Baird presented on the proposed Amendment for the TID #3. The amendment was in presentation form and the presentation slides are available. Looking to expand the TID district to add to the district to allow a stainless-steel fabrication shop to utilize TID. The but for, for this development is they would not build in Osceola but for the TID. They were looking in Taylor Falls. The district will be extended using low tax value properties and county and village streets. With this the boundaries will grow and the ½ mile bubble will increase.

After the presentation Public Hearing was opened to discuss the amendment motion was made by Bullard Second by Rose

Holly Walsh- Not in support of the amendment. Wants to know why it goes so much further than the parcel needed. Wants to know why they need the TIF would like to see development without TIF. Has been in contact with many people across the state and the issues that TIF/TID can have on communities.

Motion to close the public hearing was made by Tomfohrde seconded by Rose. Passed 4-0

Questions from Planning questions regarding the amendment. Tomfohrde wanted to know why there was no legal description or legal recommendation. Was informed this meeting was to set the boundary so we can get both, but you can make your approval contingent on approval.

The motion was made to approve the amendment with to amend G- A legal opinion advising that the project plan amendment is complete and complies with section 66.105 Whereas the planning commission differs to the village board for approval, the addition of parcel 165-000712-0001 Motion made by Bullard seconded by Tomfohrde. Passed 4-0

Motion made by Rose seconded by Tomfohrde to take Comp Plan Discussion of the table. Commission directed staff to work on quotes or RFPs for the August Meeting.

Rob made a motion to take Public Comment Section off the table seconded by Tomfohrde. Directed Administrator Swanberg to keep Public Comment Section off the agenda as the best place for public comment is at the village board meeting as this is a recommendation committee.

Bullard made a motion to change the regular July Meeting to July 6th at 6:00 pm due to the 4th of July Holiday falling on their regular scheduled meeting.

Discussion on the sale of land – partial sale of parcel ID 165-00582-0000 motion was made by Rose seconded by Bullard to recommend the sale of the land to the full village board motion passed 4-0.

Rob Bullard wanted to thank the commission for being Respectful and Kind during the difficult meetings in the past month.

The meeting was adjourned 7:36 pm

Respectfully submitted by
Devin Swanberg
Village Administrator