

NOTICE
VILLAGE OF OSCEOLA
SPECIAL VILLAGE BOARD MEETING - AMENDED

Date: Tuesday, September 19, 2023

Time: Immediately following Village Board & Airport Commission Special Meeting

Place: Board Room (310 Chieftain Street)

AGENDA

1. Call to order
2. Approval of the agenda
3. Other business – discussion and possible action re:
 - a) Comprehensive Plan
 - b) Village Board President vacancy
 - c) Village Board signee for bank accounts
4. Future agenda items and updates
5. Adjourn

The Power of 10 are the 10 most significant assets in the community identified by the Board. They are listed below:

- | | | |
|--------------------|--|---|
| 1. Schools | 5. Falls | 9. Medical Services |
| 2. Airport | 6. Downtown Businesses | 10. Recreational opportunities and the Braves
(tied ranking for number 10) |
| 3. Industrial Park | 7. Personalization/Historic of Downtown Feel | |
| 4. River | 8. Access to major population center | |

NOTE: It is possible that members of other governmental bodies of the municipality may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice. Meetings may be recorded for public viewing and record retention.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Village Hall at (715) 294-3498.



PROPOSAL TO PROVIDE Comprehensive Plan Update

Prepared for:
Village of Osceola, WI
September 8, 2023



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Proposal to Provide:
**COMPREHENSIVE
PLAN UPDATE**

September 8, 2023

**Devin Swanberg,
Village Administrator**
310 Chieftain Street
P.O. Box 217
Osceola, WI 54020

**Lauren Dietz, AICP
Lead Planner**

MSA Planning + Design
Studio
11 E. Marshall Street,
Suite 201, Rice Lake, WI
54868

Dear Devin,

We are thrilled to see Osceola preparing for an update to its Comprehensive Plan. At its best, a good comp plan can be transformative, guiding decisions and investments toward a common community vision in every proposal and every Village budget. But at its worst, the comp plan is a tedious inventory of data and a place where good ideas sit idle. We have an approach to help you get the best out of this process.

MSA's Planning + Design Studio is organized around the development of great places. We combine planners, urban designers and landscape architects to think about the relationships between physical design and social, economic and environmental vibrancy. And, we possess a commitment to effective stakeholder engagement. Our team is deeply experienced in comprehensive planning, and we've been refining best practices for this common document focused on brevity, focus and action.

The MSA team will lead the development of your plan with these priorities:

- **Community Engagement** – Involvement of a representative community cross-section is critical to the legitimacy of the plan. We'll work with you to involve many people through a variety of methods so that you and the Village Board can accurately say, "This plan reflects what the community wants."
- **Action Orientation** – Beyond land use policy, plan implementation requires effort each year, particularly in Village Board budgeting decisions. We will start our process by checking in with you, and with the Village Board, about the prospects for using the plan in a proactive way every year.
- **Effective, Sustainable Plan Document** – It's time for a plan that can't be put on a shelf. We'll collaborate with you to create an online document that meets all the requirements of statutes and practical use.

We are happy to provide more information on any aspect of our team or approach. Contact either of us with questions or next-step discussions. Our team is committed to making this project a success.

Sincerely,
MSA Professional Services, Inc.



Lauren Dietz, AICP | Lead Planner
(608) 403-3437
ldietz@msa-ps.com



Jason Valerius, AICP | Principal In Charge
(608) 242-6629
jvalerius@msa-ps.com

MSA PROFESSIONAL SERVICES, INC.

11 E. MARSHALL STREET, SUITE 201, RICE LAKE, WI 54868

Contact: Lauren Dietz, AICP | Lead Planner

Phone: (608) 403-3437

Email: ldietz@msa-ps.com

Website: www.msa-ps.com

COMMUNITY SWOT ANALYSIS

Strengths, Weaknesses, Opportunity and Threats

Development

High	Low
High	Low

Issues/Threats/Weaknesses

Opportunities/Strengths

Strengths, Weaknesses, Opportunity and Threats

High	Low
High	Low

Mobility

Issues/Threats/Weaknesses

Opportunities/Strengths

WATERLY

PROJECT EXPECTATIONS

WATERLY



FIRM BACKGROUND AND PERSONNEL QUALIFICATIONS





OUR PURPOSE:

ENABLING PEOPLE TO POSITIVELY IMPACT THE LIVES OF OTHERS. IN EVERY PROJECT. IN EVERY PLAN.

WHO WE ARE

MSA Professional Services, Inc. (MSA) specializes in the sustainable development of communities. With roots reaching back to 1919, we have grown to more than 400 employee owners across the Midwest. Our planners, landscape architects, engineers, architects, surveyors, funding specialists, and environmental professionals are dedicated to your success.

Our Planning + Design Studio brings together MSA's community planners, urban designers, landscape architects and housing specialists to collaborate on sustainable community development projects. The Studio offers expertise at the intersections of policy and form that determine community vibrancy, including zoning ordinances, housing development, park and recreation amenities, neighborhood and corridor design, bike and pedestrian facilities, and more.

We are also deeply committed to and experienced in Public Engagement. Community plans are improved by and earn their legitimacy from genuine, transparent engagement with stakeholders. Effective community involvement requires multiple methods and we apply a variety of tested tools including open houses, pop-up events, surveys, project websites, mailers and newsletters, focus groups, interactive online mapping, and more.

We further support our planning processes with a Network of Internal and External Specialists in community engagement, urban design, bike and pedestrian planning, stormwater management, traffic engineering, and economic development. For this project we have included premier experts in effective community engagement. We also offer a panel of experts that we will invite to participate in working meetings with Village staff at critical points of the planning process.

MSA has a firm commitment to racial equity and social justice. Our Diversity, Equity and Inclusion Council leads continuing efforts to look at every aspect of our internal and external operations to make sure that MSA is Deliberatively Diverse and Inclusive. Our recruiting process changes have resulted in a 50% increase in non-Caucasian employees over the past three years, and many of our community outreach activities are focused on organizations that serve economically disadvantaged youth.





Emily Soderberg
Project Manager

As Project Manager, Emily will oversee all work for Osceola. She will be directly involved in data analysis and implementation recommendations for the plan.

Each study we complete is a collaboration across our planning team.



Lauren Dietz, AICP
Lead Planner

Lauren will be the main contact on this project as lead planner, and attend all meetings with the Village. She will apply expertise in neighborhood planning to support policy and strategy promoting neighborhood health.



Jason Valerius, AICP
Principal in Charge

Jason will be responsible for strategic direction, and help refine all project deliverables.



Emily Herold
Assistant Planner

Emily will assist with data collection and community engagement meetings.



Sarah Morrison
GIS Specialist

Sarah will support the project with spatial data analysis and map creation.

VALUE-ADDED CAPABILITIES

Community Planning Perspective. The MSA team is led by planners and specialists with masters degrees in planning. We are data analysts, but we are community planners first, and our focus is on the health and success of the entire community. This perspective enables us to readily explore the interweaving issues of sustainability, housing, transportation, employment and placemaking, and it helps us focus on solutions that fit the community.

Graphic Communication. As planners, we often think graphically, in maps and graphs and photos, and we know that a graphic-heavy approach is easier to digest than a dense data report. We routinely work in Adobe InDesign to produce our housing studies, and we make a concerted effort to be concise with our text and generous with illustrations.





Emily Soderberg

PROJECT MANAGER

Emily is an experienced project leader with diversified planning experience. She has successfully led the completion of community-wide plans across Wisconsin and is the lead author of several elements of the City of La Crosse Comprehensive Plan Update. Emily is a graduate of the University of Michigan's Urban and Regional Planning Master's program where she concentrated in land use and environmental planning. As a skilled communicator, she is adept at leading public engagement, building consensus among project stakeholders, and keeping her clients informed as a project progresses.

EDUCATION

Master of Urban and Regional Planning, University of Michigan

B.S., Sustainable Built Environments, University of Arizona Honors College

MEMBERSHIPS

American Society of Adaptation Professionals (ASAP)

American Planning Association-WI

AREAS OF EXPERTISE

- Master Plan Review
- Ordinance Review
- Zoning & Land Use
- Rooftop Solar System Design
- Organic Waste Management Operations
- Sustainable Agriculture & Food Systems
- Community Engagement
- Research & Analysis

SELECTED PROJECT EXPERTISE

Comprehensive Plan Update, La Crosse, WI

Conducted policy research and data collection to inform the housing, transportation, and utilities and community facilities elements of the plan. Interviewed stakeholders and collaborated with the consultant team to develop policy goals, strategies, and objectives.

Comprehensive Outdoor Recreation Plan, Fort Atkinson, WI

Led the development of the City's first Comprehensive Outdoor Recreation Plan (CORP) since the 1990s. Conducted a range of public engagement activities, including stakeholder focus groups, pop-up booths at community events, and an online survey. Developed the plan, both in content and document layout. Facilitated public meetings and presented plan findings to City Council.

Comprehensive Outdoor Recreation Plan, Wausau, WI

Coordinated with staff to update the City's CORP. Developed the plan, both in content and document design, to align with Marathon County's CORP since the city and county's parks and recreation department is run jointly. Developed a prioritized capital improvement action plan for existing park maintenance and upgrade projects.

Additional Experience

- Comprehensive Plan, La Crosse, WI
- Comprehensive Outdoor Recreation Plan (CORP) 2023-2028, Fort Atkinson, WI
- Parks Planning, La Crescent, MN
- CORP Update, Wausau, WI
- CORP Update, Wisconsin Dells, WI
- CORP/Bike-Ped Update, Waunakee & Westport, WI
- CORP, Wisconsin Dells, WI
- Residential Rooftop Solar Design & Sales, Tucson, AZ*
- Green Roof Farm Operations & Management, Washington, DC*
- Industrial Compost Operations & Management, Tucson, AZ*

**Denotes experience prior to MSA.*



Lauren Dietz, AICP

LEAD PLANNER

Lauren is an experienced government administrator, and community, regional, and multimodal transportation planner. She has extensive professional and research experience in municipal zoning policy and administration, parks and recreation, sustainability and resilience, long-term and short-term planning for communities and organizations. Lauren also has particular interests and expertise in physical and cultural accessibility, as well as stakeholder engagement strategy and design that is sensitive to local communities and their experiences.

EDUCATION

M.B.A. and Master of Community & Regional Planning, Iowa State University

Master of Public Policy, University of Northern Iowa

B.A., History, Italian, University of Wisconsin-Madison

CERTIFICATIONS

American Institute of Certified Planners

AREAS OF EXPERTISE

- Comprehensive Planning
- Community Engagement
- Stakeholder Engagement
- Equity & Accessibility Analysis
- Public Administration
- Public Policy & Zoning
- Statistical Analysis
- Resilience & Sustainability

SELECTED PROJECT EXPERTISE

Comprehensive Plan, Kiel, WI

Partnering with MSA, this updated plan's vision centered around preserving, improving and promotion the reasons why people choose Kiel for home, work and recreation. This plan was drafted through a collaboration among City staff, the Planning Commission, Economic Development Committee, elected officials, and most importantly, residents of the community. The result is a document that City officials can use to direct community development decisions, to assist with capital and operational budget, and as a tool to focus and stimulate private housing, business and industrial development – all while celebrating and honoring Kiel's unique character.

Comprehensive Plan, Oelwein, IA

The MSA team is developing a Comprehensive Plan document that includes the following elements: public engagement and planning process, community profile, elements and goals, downtown Oelwein, land use, and strategic plan and implementation. The Oelwein Comprehensive Plan is expected to be completed in 2023 and will provide great guidance for Oelwein's continued success.

Comprehensive Plan, Norwalk, IA

The Land Use Chapter of the 2040 Norwalk Comprehensive Plan works to promote improvements in all components of the local economy. To develop a strong Future Land Use Plan, the MSA team created a plan that takes into consideration existing conditions information, projections, infrastructure information, feedback from engagement activities, and continual review from City officials. MSA led a Community Input Workshop to gather input on not only existing conditions, but also trends, key indicators, and gained a sense of future needs based on this input.

Additional Comprehensive Plan Experience

- Comprehensive Plan, Howard, WI
- Comprehensive Plan, Cambridge, WI
- Comprehensive Plan, Sharon, WI
- Comprehensive Plan, Footville, WI
- Comprehensive Plan, LaValle, WI
- Comprehensive Plan, Whiteside County, IL



Jason Valerius, AICP

Principal In Charge

Jason has more than 20 years of community planning and design experience across the Midwest. He has led the development of housing plans and studies, comprehensive plans, neighborhood plans, redevelopment plans, and zoning ordinances. As team leader for the Madison-based Planning and Design team, Jason manages a talented staff with expertise ranging from comprehensive planning and transportation planning to park and recreation plans, landscape architecture, and urban design. Jason has presented at many state chapter American Planning Association conferences across the Midwest, most recently in 2022 on the topic of the Lean Comprehensive Plan.

Education

M.S., Architecture and Urban Planning, University of Wisconsin-Milwaukee

B.A., Government/Psychology, Lawrence University

Certification

American Institute of Certified Planners

Selected Project Experience

- Waunakee-Westport Joint Comprehensive Plan Update, Dane County, WI (Village of Waunakee, Town of Westport)
- Comprehensive Plan Update, Sun Prairie, WI
- Comprehensive Plan Update, La Crosse, WI



Emily Herold

Assistant Planner

Emily has experience in many disciplines within the planning and design realm, ranging from comprehensive plan production and community engagement to zoning administration. She is a recent graduate of the University of Minnesota's Bachelor of Design in Architecture program, in which she focused on urban design and small-area planning. She is passionate about the experiential aspects of design and helping communities improve their built environments on small and large scales.

Education

B.D.A., Architecture, University of Minnesota-Twin Cities

Selected Project Experience

- Comprehensive Plan Update, Hudson, WI
- Parks, Recreation and Open Space Master Plan, Scandia, MN
- Elevate Rapid City and Black Hills Area Housing Study, Rapid City, SD



Sarah Morrison

GIS Specialist

Sarah's experience includes field collection and observation, GPS post-processing and assisting with design, plans, reports, maps, schedules and various documents. Sarah is also familiar with GIS and creating maps and exhibits for both internal and external clients. She also has experience coordinating with utilities and municipalities, assisting with public involvement meetings and discussing projects with both project staff, officials, and members of the public, completing wetland delineation field work and reports, Phase I and II reporting and inspections and NEPA reports.

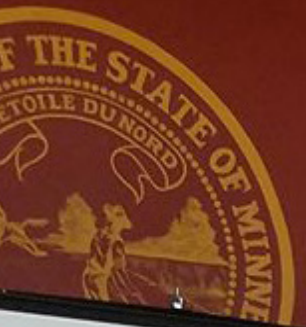
Education

B.S., Geography, University of Wisconsin-La Crosse

Selected Project Experience

Comprehensive Plans – *including multiple maps showing varied levels of data analysis for various aspects of developing urban areas and planned development. Focused on creating deliverables that were efficient data displays while also being visually appealing.*

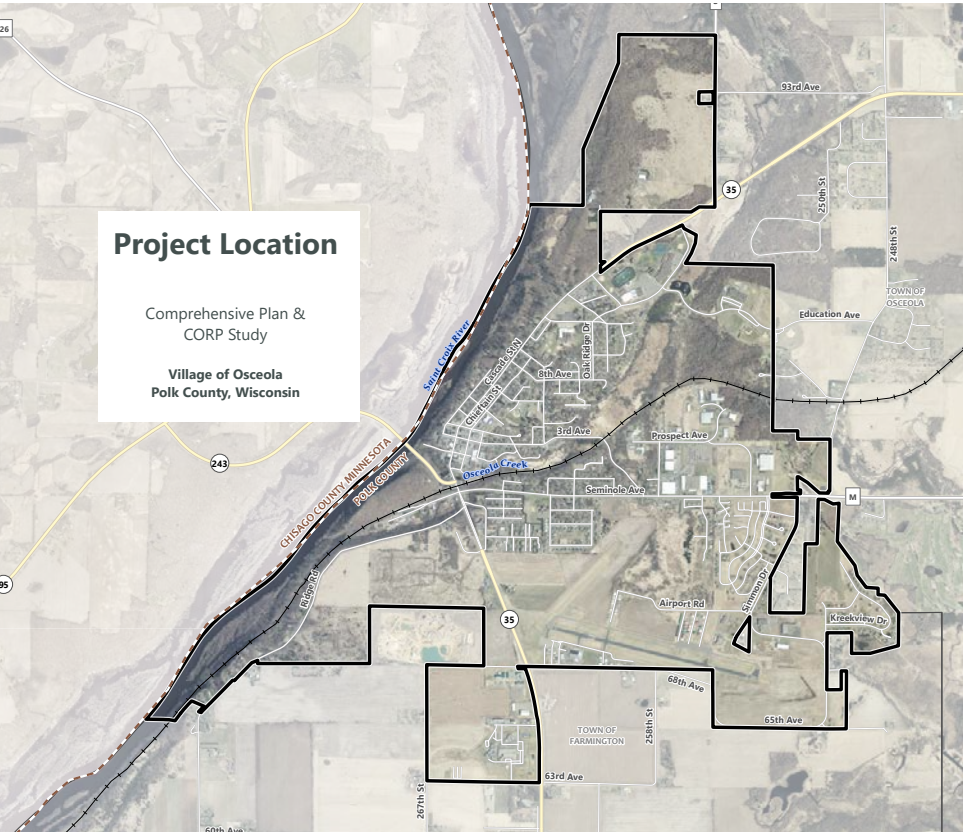
- Fond du Lac, WI
- Shorewood Hills, WI
- Belleville, WI



EXIT



SCOPE OF REQUIRED SERVICES



PROJECT UNDERSTANDING

We see a vibrant community in a beautiful setting that has been able to attract real estate investment while maintaining its small-town character.

The comprehensive plan update is needed by law and as a matter of good practice so that you can continue to regulate land use effectively. Conditions and perspectives on the community change over time – so should the document that guides your development and community improvement priorities.

This proposal describes a process and a product, but not yet the content of your plan – that will come out of our conversations with the community. We expect to talk about the following trends affecting Osceola during the planning process:

Concerns about housing demand and affordability:

- Long-term shifts in commuting and work-from-home practices.
- Infill development with more height and lot coverage than prior uses.
- Growth of outdoor recreation and experiential tourism.

We suggest three core priorities for this comprehensive plan project:

- The process should be diverse and inclusive so that the product reflects many voices.
- The product should be succinct, focused and accessible to everyone.
- The plan should be action-oriented, including a feasible, sustainable methodology for use of the plan to support budgeting decisions.



PROJECT OVERVIEW

We have organized our approach to this project in two ways: METHODS and PHASES.

METHODS:

- Project Management
- Communications Strategy
- Stakeholder Participation Methods
- Plan Document Design
- Starting with Implementation

PHASES:

1. Data Collection, Issue Identification (September - October 2023)
2. Public Intro and Listening (October - November 2023)
3. Policy Development and Review (December 2023 - June 2024)
4. Public Feedback (July 2024)
5. Final Edits and Adoption (August-September 2024)

METHODS

PROJECT MANAGEMENT

Behind the scenes of every successful planning project is effort visible only to the Village-Consultant team – consistent, proactive project management. We use the following methods to maintain clarity about scope and schedule, and also to work through challenges that arise during the process.

- A detailed scope at project startup, including agreement on methods and schedule.
- A thorough Project Initiation Meeting.
- Frequent check-ins between MSA and Village project leads – every two weeks is recommended.

COMMUNICATIONS STRATEGY

Our team will also work with Village staff to identify those existing channels and methods that have proven successful in Osceola.

The communications strategy for the project will include:

- Key points about what the plan is for and why participation matters.
- Identified target audiences.
- Trusted community partners to help us spread the word to these audiences.
- A timeline for engagement events and corresponding communication pushes.

Project Web Presence

MSA proposes the use of the Village’s website (e.g., a new subpage under “Residents”) to share meeting announcements and draft materials during the planning process.

For an additional fee, MSA can create and host an interactive website dedicated to the comprehensive planning project.

STAKEHOLDER PARTICIPATION METHODS

A transparent public participation process is the foundation to a successful plan. An effective stakeholder participation program accommodates diversity in how, when, why and where people will engage with the plan. Residents and other stakeholders will be able to connect with the process in a variety of ways, increasing the number and quality of interactions. This participation will form the foundation of the plan.

Planning Commission Meetings

As the primary working group for this process, the Planning Commission will be the sounding board to help validate, supplement and edit plan content. We will work with Village staff to make good use of Commission meeting time, especially to get critical feedback on challenging issues. We anticipate a total of five (5) meetings with the Planning Commission, including kickoff and issue identification, three policy discussion meetings, and a final plan review and recommendation meeting.

Stakeholder Interviews and Focus Groups

We will conduct virtual interviews with stakeholders and focus groups in the first phase of the planning process to identify and understand issues of interest to the community. We are primarily interested in speaking with officials, Village staff, community leaders, members of community organizations, business leaders and other stakeholders or small groups from across the community, as identified by Village staff. The interview process is an opportunity to connect with stakeholders that the Village knows tend not to show up in

other parts of the process, such as public meetings and surveys. We will work with Village staff and other partners of the Village to assemble focus group discussions for renters, young professionals, families and the business community. We always gain valuable insight into communities through these interviews, information we cannot get through a survey, in a public meeting or from census data. We have budgeted for eight (8) interviews to be conducted virtually for the convenience of all.

Community Survey

Surveys are very useful in the planning processes – they tend to reach the broadest audience and they provide measurable results. We suggest the use of one (1) online community survey during the planning process. The Community Vision Survey will be conducted in conjunction with the first public meeting in Phase 2. It will focus on identification of issues, opportunities, and preferences for the future of the community. We will conduct the survey online, with the option of a paper version.

Pop-up Booths at Community Events

There's no better engagement method than going to where people are. We will work with Village staff to identify an appropriate opportunity to host a booth at a public event where people can learn something about the process and offer feedback in brief conversations. We'll tailor our approach based on the event, but we've done everything from kids' planning stations to engagement exercises with prizes. Our goal: make people stop, learn more, and leave wanting to stay involved.

Community Visioning Workshops

The public meeting continues to serve as a useful tool in the toolbox. We will facilitate one (1) in-person workshop during Phase 2. At this meeting, we will first give an overview of the process, describe the relevance of the plan to quality of life in the Village, and highlight past and anticipated changes in the community. The main focus will be a set of activities designed to elicit concerns and dreams about the future of the community.

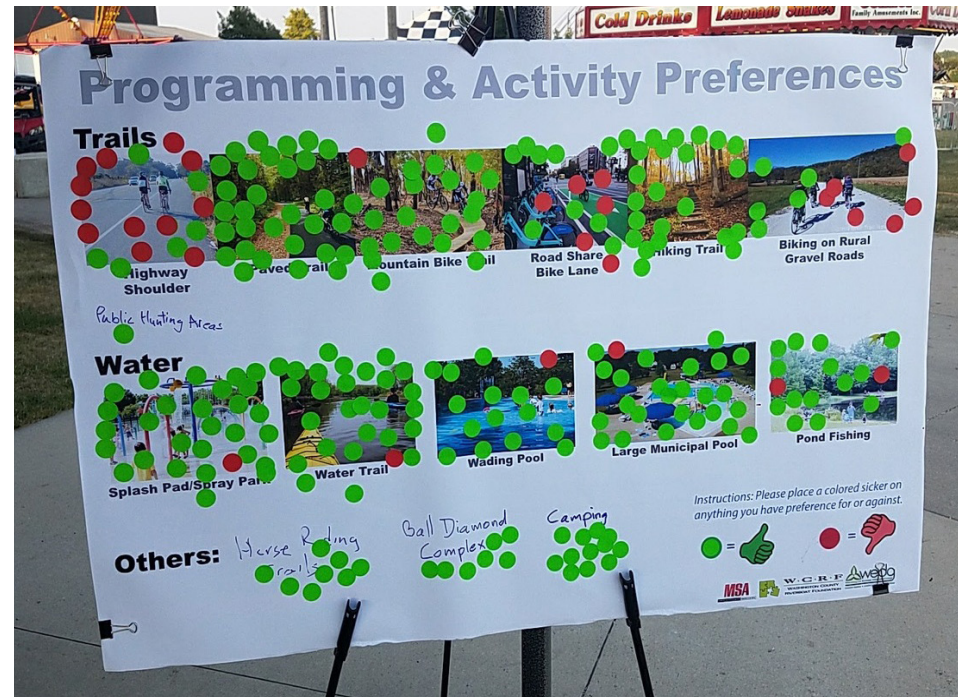
Plan Review Open Houses

We will share and seek feedback on the draft plan through an in-person and online pair of open house meetings in Phase 4 of the project. At this meetings we will provide a summary overview of the planning process and the plan itself, highlighting critical policy directions, then collect reactions to gauge support for the proposed plan policies.

PLAN DOCUMENT DESIGN

Comprehensive plans tend to get bloated with excess data and ideas. Not every available data point adds value to the plan, and not every acceptable idea warrants mention in the plan. We are firm believers in the value of LEAN. The Lean Comprehensive Plan can address the needs of the community and Wisconsin's statutory requirements, but through a commitment to focus and brevity, it can remain short, compelling, and easy to use.

We will work with you to help ensure that the final plan features only the most relevant data. We will collect and review data from various sources as pertinent, including the U.S. Census Bureau (American Community Survey, Economic Census), the U.S. Department of Housing and Urban Development, the Regional Planning Commission, and the Village itself. Our review and presentation of the available data will be iterative, with Village staff, starting with a screening for noteworthy trends and comparisons with selected peers, and then drilling deeper to explore the most interesting and salient facts. The data to be included in the plan document should be those pieces that relate directly to key policy directions.



As we work on the policy content of the plan, we will bring a sharp editing eye to the drafting process and consult with Village staff to establish focus on those strategies and actions most critical to advance the needs of the community.

We propose a plan structure that tells a story and groups together interrelated planning topics. Elements 3 through 8 below are the core of the plan and will feature relevant maps, data, goals, strategies and actions.

Element 1: Introduction, Community History and Plan Overview

Element 2: Community Input Summary

Element 3: Land Use and Transportation
(Land Uses and Intensities of Use, Corridor Development, Safe Mobility for All)

Element 4: Neighborhoods and Housing
(Healthy Neighborhoods, Housing Needs, Infill Development Compatibility Strategies)

Element 5: Economy and Opportunity
(Training and Education, Business Success)

Element 6: Culture and Character
(Community Identity and Character, Placemaking, Arts, Social Connection)

Element 7: Green and Resilient
(Healthy Waters, Parks and Recreation, Sustainable Urbanism)

Element 8: Effective Government
(Regional Collaboration, Transparency and Accountability)

Element 9: Implementation

Plan Format

We can prepare the plan document in several different ways. Our base scope and price is a traditional PDF document, easily printed for hard copies.

Alternatively, we can discuss the suitability of an online-only document, built within the Village's website or through an ESRI StoryMap platform. In this scenario, we could include interactive maps. The foundation of this approach is, we suggest, a basic Word version of the plan that is easily reviewed and edited, both during the planning process and later for any Village-led updates. That simplistic version can serve as the official document for adoption, and then the website built to match what is in the adopted document.

STARTING WITH IMPLEMENTATION

Many Wisconsin communities use their plans effectively to guide land use and development decisions. Sometimes communities struggle to implement action items, although they have plans with long lists of action items. In your process, we will start the planning effort with a staff discussion about implementation methods, to better understand precisely how the annual budgeting and goal-setting process works in Osceola. We will collaborate with staff to draft a process that spells out in detail how the plan is to be used in those processes each year by staff, committees, and the Village Board.

The advantage of bringing this up at the beginning is that we can get agreement on the principle before we get distracted by the specific actions to which it applies. When we do get to that point, we will work with staff to evaluate feasibility carefully – we do the Village no favors by including actions with unrealistic expectations for budget or staff time commitment.





PROJECT COST

PHASE	COST
Phase 1 - Data Collection, Issue Identification	(\$3,700)
Phase 2 - Public Intro and Listening	(\$5,800)
Phase 3 - Policy Development and Review	(\$19,700)
Phase 4 - Public Feedback	(\$3,200)
Phase 5 - Final Plan Assembly and Adoption	(\$5,600)
TOTAL	\$38,000

Optional Tasks

The scope described herein can be expanded to include the following opportunities:

- Additional Public Meeting(s): \$2,100 each
- Additional Planning Commission Meetings: \$1,000 each
- Dedicated Project Website: \$1,200
- Web-based Plan (instead of PDF): \$1,800
- Concurrent Comprehensive Outdoor Recreation Plan: \$15,000
 - By completing the CORP concurrent with the Comp Plan, we can take advantage of that process to complete some of the CORP more efficiently, including demographic analyses and community engagement methods. The savings on the cost of the CORP would be \$4,000.

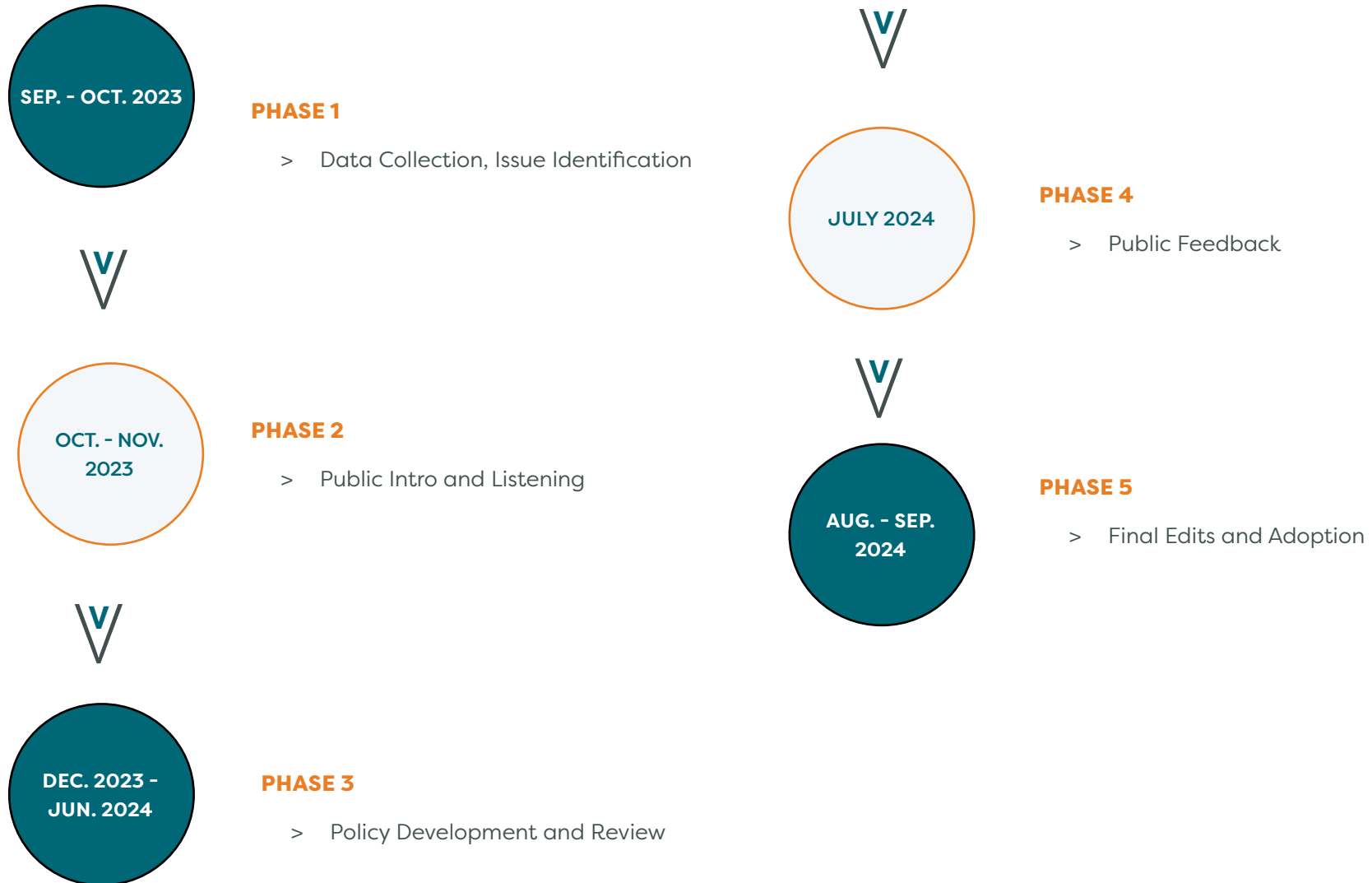




PROJECT TIMELINE

PROPOSED TIMELINE

An agreeable schedule would be developed with the Village during final scoping and the initial staff and Plan Commission kickoff meetings. MSA anticipates the following estimated project schedule:

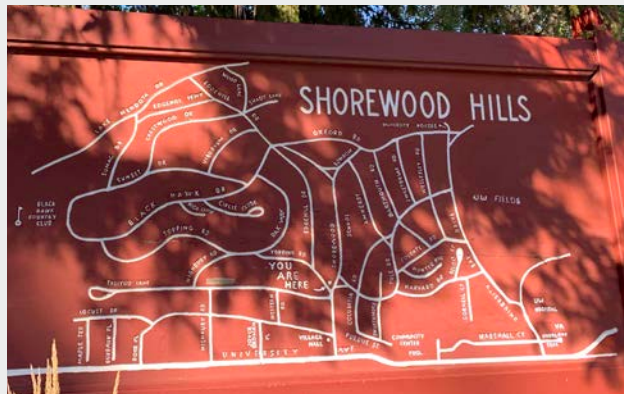




COMPREHENSIVE PLAN UPDATE SUN PRAIRIE, WI

The City of Sun Prairie has been one of the fastest growing communities in the state over the past two decades. This continued growth has yielded serious conversations within the community about how much the City should grow and what growth looks like. To address this broad question and develop a vision for the future, the City of Sun Prairie and MSA worked together to update its 2009 Sun Prairie Comprehensive Plan. The top issues that were brought up during these public engagement events included: community growth, climate change impacts, a tight labor market, ensuring Sun Prairie is attracting the right jobs, housing affordability, public transportation, bicycle and pedestrian facilities, incomplete neighborhoods, urban design guidance and partnership with the school district. The updated plan features a concise Sustainability Commitment, and it distributes and integrates sustainability policies and actions throughout the plan, tying them to the corresponding elements of the plan.

https://issuu.com/msaprofessionalservices/docs/36184_sp_compplan_exsummary_draft



TEN-YEAR COMPREHENSIVE PLAN UPDATE SHOREWOOD HILLS, WI

MSA assisted the Village with updating its existing Comprehensive Plan, as well as new formatting and the identified need for community engagement and conversation. The new Comprehensive Plan was built around the values, goals, and objectives of the previous plan. Demographics of the Village have shifted over the past decade, and a need for the entirety of the community to have a voice in shaping the new plan. The core of the original plan was used to guide engagement, analysis, and goals, and reformatting the final plan. MSA worked with the Village to incorporate elements that were still relevant in order to best maintain continuity and efficiency, while bringing the guiding policy to the forefront of the document. A sustainability plan was included as a chapter of the Comprehensive Plan. The sustainability plan was used as more than a chapter, by integrating sustainability elements into action items and objectives of the remainder of the plan to promote cohesiveness in Village policy.



COMPREHENSIVE PLAN, KIEL, WI

The City of Kiel, population 3,961, needed an update to the City's 2002 Comprehensive Plan. Partnering with MSA, this updated plan's vision centered around preserving, improving and promotion the reasons why people choose Kiel for home, work and recreation. This plan was drafted through a collaboration among City staff, the Planning Commission, Economic Development Committee, elected officials, and most importantly, residents of the community.

The result is a document that City officials can use to direct community development decisions, to assist with capital and operational budget, and as a tool to focus and stimulate private housing, business and industrial development – all while celebrating and honoring Kiel's unique character.

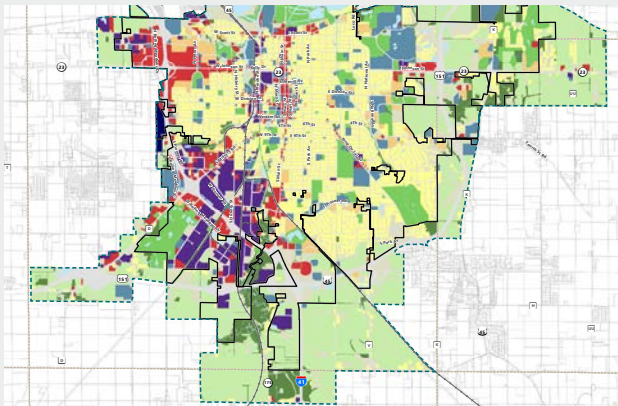


2040 FUTURE LAND USE PLAN NORWALK, IA

The Land Use Chapter of the 2040 Norwalk Comprehensive Plan works to promote improvements in all components of the local economy. To develop a strong Future Land Use Plan, the MSA team created a plan that takes into consideration existing conditions information, projections, infrastructure information, feedback from engagement activities, and continual review from City officials. MSA led a Community Input Workshop to gather input on not only existing conditions, but also trends, key indicators, and gained a sense of future needs based on this input. As a part of this rigorous public input workshop, MSA held the following meetings:

- Planning Steering Committee Meetings
- Stakeholder Interviews
- Joint Planning and Zoning and City Council Meetings
- Rotary Club of Norwalk Meeting

Visit www.norwalk2040plan.com to view the ArcGIS StoryMap used to keep citizens up to date on their community's future plan.



2040 COMPREHENSIVE PLAN UPDATE FOND DU LAC, WI

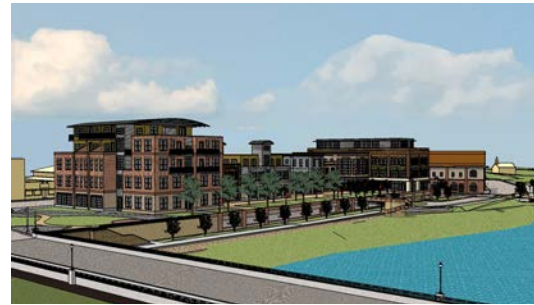
Since Fond du Lac adopted its current Comprehensive Plan in 2010, the population has remained stable. There is a lack of diverse and affordable housing options in the City, specifically high-quality rentals and income-limited units. Many of the recommendations in the 2010 Comprehensive Plan had been implemented, so there was need for new direction for the next 10 to 20 years. During this planning process, public engagement verified the importance of putting a greater focus on economic development, housing, special area planning, and sustainability. As of January 2020, MSA has facilitated and conducted several public outreach efforts including public open house, community survey, online mapping feedback tool, focus groups and interviews. The result of this public engagement has verified the importance of putting a greater focus on economic development, housing, special area planning, and sustainability. The final plan will provide new goals and policies that meet the needs of the current and future Fond du Lac community.

https://issuu.com/msaprofessionalservices/docs/1878058_fdl_2040_compplan_no_appendices_adopted_20



JOINT COMPREHENSIVE PLAN UPDATE WAUNAKEE AND WESTPORT, WI

In January 2017, the Village of Waunakee and the Town of Westport adopted two plans – a Joint Comprehensive Plan and a Joint Bicycle, Pedestrian and Outdoor Recreation Plan. These adoptions culminated a year of careful coordination and shared effort, led by MSA. The two communities had originally sought update of a total of seven plans, including independent comprehensive plans, and selected MSA to assist with these updates based on our proposal to consolidate those seven plans into two coordinated and jointly adopted plans. In adopting these plans, the Village and Town renewed their commitment to collaboration and cooperation, extending a 20-year history of pragmatic effort around shared interests and community assets.



PLANNING EXPERIENCE

URBAN DESIGN | COMPREHENSIVE PLANNING | NEIGHBORHOOD PLANNING

MSA's Planning + Design Studio is an award-winning team with expertise in market analysis, stakeholder engagement and urban design. We help our clients identify opportunities and resolve barriers to positive change - this includes large to small communities and private developers.

ADDITIONAL RECENT PROJECT EXPERIENCE

COMPREHENSIVE PLANNING

Wisconsin

- Antigo
- Arlington
- Beaver Dam
- Columbus
- Courtland
- Eau Claire County
- Eden
- Fond du Lac
- Fox Crossing
- Hayward
- Holmen
- Marathon County
- Oakdale
- Reedsburg
- Ripon
- Sauk County
- Sharon
- Shorewood
- Sun Prairie
- Tomah
- Verona
- Waunakee and Westport
- Wausau - Marathon County
- Wilton
- Westport

Additional Midwest Experience

- City of Burlington, IA
- City of Central City, IA
- City of Dassell, MN
- City of David City, NE**
- City of Durant, IA
- City of Hastings, MN
- City of Hiawatha, IA
- City of Keota, IA
- City of La Crescent, MN
- City of Lexington, MN
- City of McGregor, IA**
- City of Newton, IA**
- City of Oak Grove, MN
- City of Riverdale, IA
- City of Solon, IA
- City of Waverly, IA **
- City of Williamsburg, IA
- Clay County, KS*
- Ellis County, KS*
- Ellsworth County, KS*
- Harvey County, KS*
- Lincoln County, KS*
- Story County, IA
- Warren County, IA **
- Webster County, IA**
- Whiteside County, IL

HOUSING STUDIES AND PLANS

- City of Central City, IA
- City of Green Bay, WI
- City of Monticello, MN
- City of Marshfield, WI
- City of Newton, IA**
- City of Sheboygan, WI
- City of Springville, IA
- City of Stevens Point, WI

NEIGHBORHOOD/CORRIDOR PLANNING

- City of Baraboo, WI
- City of Des Moines, IA
- City of Indianola, IA**

- City of Fitchburg, WI
- City of River Falls, WI
- City of Sun Prairie, WI
- City of Wilton, IA

DOWNTOWN PLANS

- City of Clinton, IA
- City of Durant, IA
- City of Ely, IA
- City of Guthrie Center, IA
- City of Independence, IA
- City of Keota, IA
- City of LaPorte City, IA
- City of Solon, IA
- City of Wilton, IA

* indicates project experience as sub-consultant

** denotes work-in-progress



WHAT OUR CLIENTS ARE SAYING

Below is contact information for four clients who have worked with this project team on similar projects. We encourage you to reach out to them about the services we provide and their experience working with our proposed project team.

CITY OF SUN PRAIRIE, WI

COMPREHENSIVE PLAN UPDATE

Scott Kugler, Community Development Director

(608) 825-0851

skugler@cityofsunprairie.com

CITY OF LA CRESCENT, MN

COMPREHENSIVE PLAN UPDATE

Bill Waller, Administrator

(507) 895-2595

bwaller@cityoflacrescent-mn.gov

CITY OF FOND DU LAC, WI

COMPREHENSIVE PLAN AND FARMLAND PRESERVATION PLAN

Dyann Benson, Community Development Director

(920) 322-3440

dbenson@fdl.wi.gov

VILLAGE OF WAUNAKEE, WI

COMPREHENSIVE PLAN UPDATE

Tim Semmann, Community Development Director

(608) 850-2830

tsemmann@waunakee.com

IT'S MORE THAN A PROJECT. IT'S A COMMITMENT.
COMPREHENSIVE PLAN UPDATE | OSCEOLA, WI | SEPTEMBER 8, 2023

PLANNING SERVICES

COMPREHENSIVE PLANNING SERVICES

OSCEOLA, WI

JULY 5, 2023



Aerial Image of Village of Osceola, WI

WIDSETH

LOGAN TJSSEM AICP

Project Manager | Principal Planner

507.206.2138

Logan.Tjossem@widseth.com

3777 40th Avenue NW, Suite 200

Rochester, MN 55901

July 5, 2023

WIDSETH

Devin Swanberg, Village Administrator
Village of Osceola, Wisconsin
310 Chieftain St.
217 Osceola, WI 54020
administrator@vil.osceola.wi.us

Wyoming
5368 266th Street
PO Box 730
Wyoming MN 55092
651.464.3130
Wyoming@Widseth.com
Widseth.com

Re: Village of Osceola Comprehensive Plan

Dear Devin Swanberg:

The Village of Osceola is a vibrant and diverse community of citizens with a rich history, access to the St. Croix National Scenic Riverway, with excellent entertainment, dining and tourism options, access to recreation trails, arts organizations and businesses, and local agriculture with farmers markets. We are excited to help you create the vision for this historic village, settled in 1844, with a comprehensive plan update that will continue to be a guide for the growth and development of the Village into the future.

Our team will help you to anticipate the impact of an increasingly diverse population, housing needs, economic development initiatives, and social needs. The recommendations and implementation of this plan will be the foundation for growth that will benefit citizens, stakeholders, and all who live, work, or visit the Village of Osceola for the next 15-20 years.

CREATE VALUE

Our team is just minutes from the Village of Osceola. We will build on the trust we have established working with other communities and provide you with effective and efficient solutions.

INSPIRE GREATNESS

Successful comprehensive plans are tailored to their communities, drawing connections among rivers, lakes and natural resources with downtown developments, urban growth, historic buildings, and local businesses and industries. The Village of Osceola's updated plan will layout a solid foundation for community growth and connections!

We look forward to working with you and the Village of Osceola community on your Comprehensive Plan. Please contact me if you have any questions about our firm, qualifications for planning, or this proposal for your comprehensive plan.

Sincerely,



Logan Tjossem AICP
Project Manager | Principal Planner
507.206.2138
Logan.Tjossem@widseth.com

WIDSETH INTRODUCTION

Widseth is a planning, architecture, engineering, land surveying, and environmental services firm that was incorporated in 1975. We have 10 offices in Minnesota and North Dakota and over 200 employees. Together, our multidiscipline team provides clients a complete package of services to lead their project from concept to completion.

Our planning team partners with our GIS, mapping, and funding specialists for larger comprehensive planning projects to integrate real data and future funding opportunities into customized plans that meet the community's vision and goals.



10

Locations

Widseth's Wyoming office is less than 20 miles from the Village of Osceola.



200+

Employees

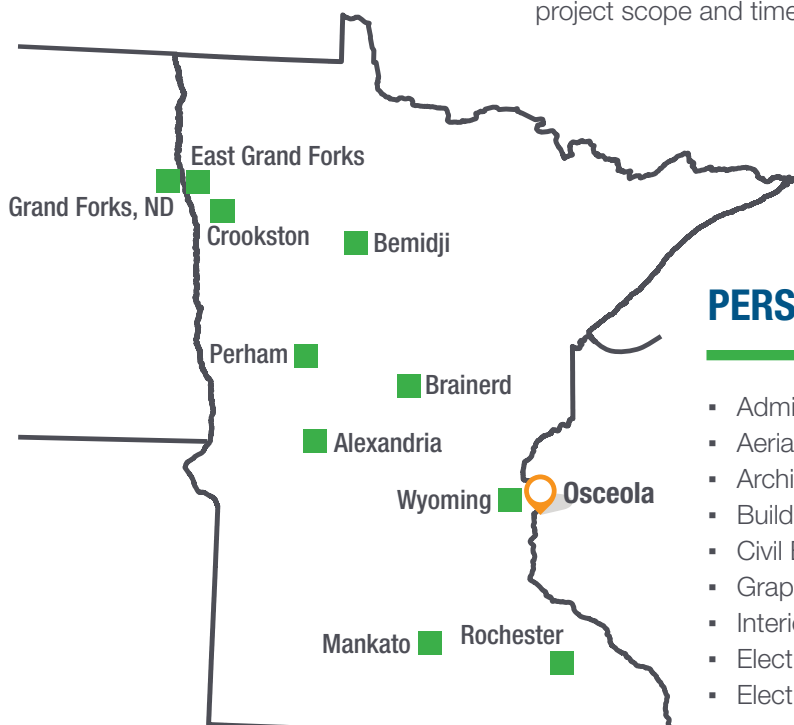
No matter how large or small of a project you have, Widseth's team is ready with the right scale team for your project scope and timeline.



MULTI
discipline

Planning & Design

Widseth is the municipal engineer for multiple villages, cities, and counties across the Midwest. The experience and knowledge from these communities will guide us in your planning for the future.



PERSONNEL BY DISCIPLINE

- Administrative
- Aerial
- Architectural
- Building Official
- Civil Engineering
- Graphic Design
- Interior Design
- Electrical Engineering
- Electrical Distribution
- Environmental
- Funding
- GIS
- Land Surveying
- Landscape Architecture
- Mechanical Engineering
- Planning
- Structural Engineering
- Water Resources

PROJECT UNDERSTANDING



Waterfalls near the downtown area of Osceola, WI

We understand the Village of Osceola desires to have a revision to their current Comprehensive Plan. A Comprehensive Plan update process identifies strengths, weaknesses, opportunities, and challenges and ultimately creates both a physical and policy document that allows the village to best optimize its resources, growth, and development over the next 15-20 years, while establishing implementation goals and strategies to move towards a sustainable future with clear objectives. With the Village of Osceola's current Comprehensive Plan adopted in 2009, we understand that new strategic objectives and action items should be addressed through the proposed update. With an update to the policies, goals, and standards; including land use and planning; transportation (pedestrian & bike, road,) community facilities and services, municipal utilities (electric, water, sanitary sewer, storm sewer), housing; economic development/redevelopment; and community culture & image, the new plan will provide a new direction for growth that will enhance the quality of life for all its residents and unique socio-economic make-up for a successful long-term plan.



PROJECT APPROACH



Community meeting for the Comp Plan—Starbuck, MN

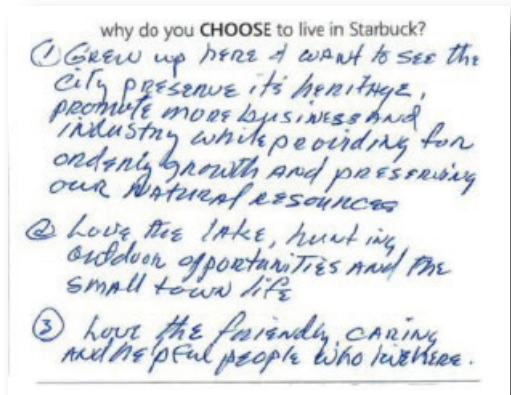
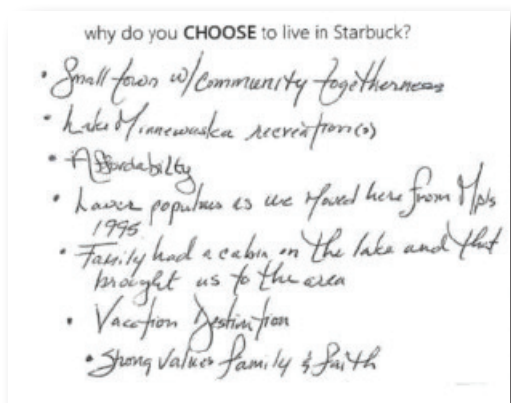
PLANNING AND DESIGN PROCESS

We propose to provide an approach that is not linear (a straight line from start to finish) but somewhat of a spiral. We make progress yet circle back to test our assumptions and findings, then move forward, again, repeating the cycle while moving ahead.

Throughout this process, our team will draw on years of experience to develop understandable, useable documents to plan the future of the Village of Osceola.

Each phase will consist of:

- Reviewing existing information and/or information gathered in the previous phase.
- Questioning results and communicating with stakeholders, community leaders, and citizens.
- Testing proposed suggestions or new policies for recommendations and implementation strategies.



Notes above: The planning process in Starbuck, MN asked citizens to comment on what they liked about their community. This information was used to help create the vision and goals for their comprehensive plan.

PROJECT APPROACH CONTINUED

COMMUNITY OUTREACH

Our team is experienced in leading client groups to establish long-term goals, define needs, and build consensus around solutions. Our process includes meeting with the village, county, tribal governments, stakeholders, and community leaders to listen, establish needs, and work through appropriate solutions. Widseth's approach always has been, and always will be, client driven.

Having executed many similar successful engagements, we will tailor a unique public engagement process specific to the needs of the community to try and make sure every voice is heard and represented.



PUBLIC MEETINGS

In collaboration with the Village of Osceola, Polk County, stakeholders, and community leaders, Widseth's team will plan, and conduct community engagement meetings as outlined in our timeline. Our team will facilitate the meetings and draft and deliver informational exhibits and reports throughout the process.



FEES FOR PLANNING PROCESS

PROJECT SCOPE	FEE
Comprehensive Planning services including review of current comprehensive plan, small team meetings, community engagement, re-write and update of new comprehensive plan	\$34,750



COMPREHENSIVE PLAN TIMELINE

- Review previous Comprehensive Plan and existing policies and documents
- Begin Formatting - chapters, sections, or themes
- Determine Role of Public in Plan Development
- Identify Key Stakeholders
- Coordinate with Comprehensive Planning Committee to identify community driven volunteers

Small Team Meeting

- Kickoff - Introductions, discussions, and review history
- Research and analysis - Begin process
 - » Demographic Information
 - » Housing (Incorporate Housing Study Info, if one exists)
 - » Economic Development

Deliverables: Microsoft Excel database and written summaries

Months 1-3

The beginning of the comprehensive planning process is first understanding the history and culture of a community to establish a "sense of place." Gathering historic perspectives through adopted policy and communication is a crucial first step.

Community Meeting #1

- Introduction
 - » Schedule, Areas of focus, & Community involvement
- Individual SWOT analysis (Strengths, Weaknesses, Opportunities, and Threats)
 - » One sheet survey
- Table discussions - Comparing ideas
- Full group sharing - Compile Info for SWOT

Deliverables: Community engagement SWOT analysis results and meeting minutes

Months 3-6

Our team will begin the community engagement process in collaboration with the village.

Community Meeting #2

- Introduction | Recap of Meeting #1
- SWOT recap
- Evaluate specific areas
 - » Family sustainability
 - » Land use
 - » Transportation
 - » Parks, trails, arts, and open space
 - » Natural resources
 - » Utilities, infrastructure, and community facilities
 - » Intergovernmental cooperation
- Begin creating/evaluating a vision statement

Deliverables: Meeting minutes and written summaries

Months 6-9

During these months, the collaboration efforts continue with evaluating specific areas, facilitation of meetings, and communicating information to define a clear direction of where the village would like to be. The draft Comprehensive Plan begins the final stages.

Community Meeting #3

- Introduction
- Finish vision statement
- Finish evaluating specific areas
 - » Similar to Meeting #2
 - » Implementation

Deliverables: Draft Comprehensive Plan

Months 9-11

The draft Comprehensive Plan is coming to completion during this phase, and a vision should be finalized.

Community Meeting #4

- Comprehensive Plan presentation
- Questions/comments

Deliverables: Final Comprehensive Plan

Month 12

The Comprehensive Plan is finalized and adopted with clear objectives and implementation strategies.

PROJECT TEAM RESUMES



LOGAN TJSSEM AICP

Principal Planner | Project Manager

With more than 20 years of experience, 12 of those with the Rochester-Olmsted Planning Department, Logan interprets individual and group needs by effectively listening, communicating, and engaging conversation through input and feedback. Logan is known for establishing strong client relationships built on knowledge, trust, and respect and provides an ongoing service for local and state policymakers, governmental agencies, community groups, and local citizens. Logan is an Associate Member Minnesota Chapter of the American Planning Association (MnAPA).

License/Certification

Licensed Appraiser:
MN (40471669)
American Institute
of Certified
Planners (AICP)

Education

Bachelor of Science,
Community and
Regional Planning
(emphasis Economic
Development) | Iowa
State University

RELEVANT EXPERIENCE

- Comprehensive plans: drafts, updates, map amendments
- Housing Studies
- Zoning ordinances: drafts, updates, text amendments
- Development review
- Vacant Lot, Residential, and Agricultural Land Market Studies.
- Grant writing
- Preparation of appraisals for condemnation, tax appeal, litigation, financing, and acquisition/disposal.
- Properties appraised include: multifamily buildings, development land, warehouse/industrial buildings, office buildings, civic buildings and agricultural land. Also, varying permanent and temporary easement rights.



GAIL LEVERSON MBA, EDFP

Funding Specialist | Grant Writer

Gail joined Widseth in 2019 and serves as the Funding Specialist working with a broad array of projects. Areas of focus include city infrastructure, parks, trails, and fire department funding to help communities prosper and grow. After 21 years of experience with state and federal funders, Gail has extensive knowledge of grant programs and funding agencies including MN Public Facilities Authority (PFA), MN Department of Employment and Economic Development (DEED), U.S. Economic Development Administration (EDA), MN Department of Natural Resources (DNR), Federal Emergency Management Agency (FEMA), MN Department of Transportation (MnDOT), USDA–Rural Development (RD), and more.

License/Certification

Economic
Development Finance
Professional (Cert.
#1204-010)

Education

Master of Business
Administration | Bemidji
State University
Bachelor of Science,
with Honors | Bemidji
State University

RELEVANT EXPERIENCE

- Work with client, design team, and agencies to pursue and secure available funding, coordinate process, and ensure requirements are met
- Research Grants
- Write Proposals
- Submit Applications
- Grant Administration
- Manage Labor Compliance



MARK REINEKE CMS, GISP

Geographer | GIS Manager

Mark is an Associate in the firm with more than 25 years' experience in spatial analysis, mapping, and Geographic Information Systems (GIS). He coordinates GIS projects among the firm's offices and manages Widseth's extensive spatial database. Mark assists and advises project teams by providing analysis, mapping, and technical support necessary for overall project success.

License/Certification

Certified Mapping
Scientist–GIS/
LIS (GS291)
Certified GIS
Professional (52240)

Education

Bachelor of Science,
Geography | University
of Minnesota

RELEVANT EXPERIENCE

- Breckenridge Comprehensive Street Condition Survey—Breckenridge, MN
- International Falls Comprehensive Street Condition Survey, Aerial Imagery & Lidar collection—International Falls, MN
- Alexandria Comprehensive Street Condition Survey—Alexandria, MN
- Greater Blue Earth River Basin Water Quality and Terrain Analysis Data Development—Portions of MN & IA
- Water Quality Targeting/Modeling—Greater Blue Earth River Basin Alliance (GBERBA), Le Sueur River Basin, MN
- Pine Island GIS Implementation, On-Line Mapserver, and Future Land Use Study Map—Pequot Lakes, MN
- Blackduck Utility Mapping and GIS Implementation—Blackduck, MN
- Winona State University Mapping & GIS Implementation—Winona, MN



TIMOTHY M. HOULE PE, VP

Civil Engineer | Vice President

Tim leads Widseth's Wyoming office and has a broad background in civil engineering projects including site, pavement, roadway, storm drainage, and utility improvements. He works with the public and with multiple permitting agencies as well as funding assistance agencies. He is adept at incorporating state, county, and other agencies' requirements into the final design.

License/Certification

Professional Engineer:
MN (25132)

Education

Bachelor of Science,
Civil Engineering
| North Dakota
State University

RELEVANT EXPERIENCE

- City of Pequot Lakes, Multiple Projects throughout the City:
 - » Downtown Traffic Study
 - » MnDOT TH 371 Improvements
 - » Government Drive Rehabilitation
 - » Wastewater Ponds, Aeration System Improvements
- Brainerd Streetscape Reconstruction—Brainerd, MN
- Cornerstone Plaza—Forest Lake, MN
- Zhingwaak Oodena Residential Subdivision—Hinckley, MN
- Wastewater Treatment Facility (Mound System) Analysis—Backus, MN
- Baxter Trail Adjacent to TH 371—Baxter, MN
- Cuyuna Senior Housing Campus Plan Review—Crosby, MN
- 2010 11th Street Improvements—Little Falls, MN

COMPREHENSIVE PLANNING EXPERIENCE



HARMONY COMPREHENSIVE PLAN

Harmony, Minnesota

Vision to be leading city in quality of life, sustainability, business growth, tourism and small-town livability.

Located in Fillmore County of southeastern Minnesota's Driftless Region, with a population of 1,043 residents, the City of Harmony hired Widseth to participate in the 2022 - 2023 Comprehensive Plan update. The update included demographics and housing, land use, population projections, a future land use plan map, goals, and implementation plans.

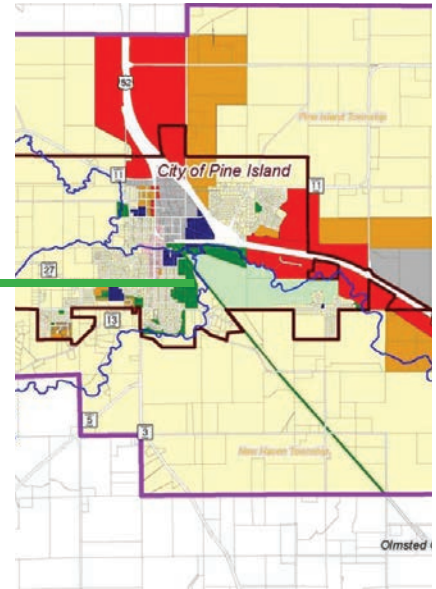
Final report being presented to City of Harmony in July 2023

PINE ISLAND COMPREHENSIVE PLAN

Pine Island, Minnesota

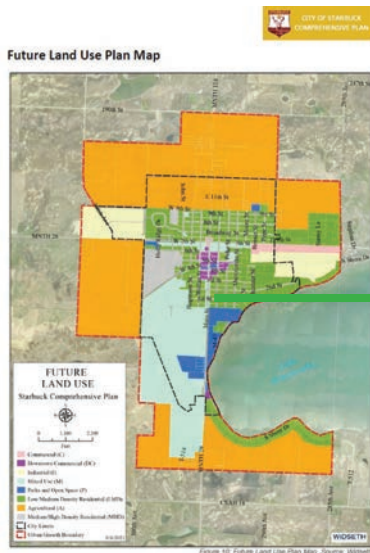
*Work together to promote orderly growth.
Build a productive atmosphere that preserves community values, the environment, and history*

Located in Goodhue and Olmsted Counties of southeastern Minnesota along the beautiful banks of the Zumbro River, with a population of 3,400 residents, the City of Pine Island hired Widseth to participate in the 2009-2010 Comprehensive Plan update. The update included demographics and housing, land use, transportation, parks, recreation and open space, wastewater infrastructure, water infrastructure, and historic preservation.



Documentation of report available here:
[Pine Island Comprehensive Plan Link](#)





STARBUCK COMPREHENSIVE PLAN

Starbuck, Minnesota

Preserving community values, environment, recreational opportunities, Lake Minnewaska and heritage of Starbuck.

The City of Starbuck is located within Pope County of West Central Minnesota, situated on the west bank of Lake Minnewaska, and at the intersection of Minnesota Highways 28 and 29. It's population is 1,383 (2019). The city hired Widseth to facilitate, coordinate and write their first Comprehensive Plan. The Comprehensive Plan (to be adopted soon) is still in draft form but includes population projections, a future land use plan map, goals, and implementation plans.



Documentation of report available here:
[Starbuck Comprehensive Plan Link](#)



COMMUNITY REFERENCES



CITY OF STARBUCK

Gary Swenson, Mayor

307 East 5th Street

PO Box 606

Starbuck, MN 56381

mayorstarbuck@hcinet.net

320.239.2196

Comprehensive Plan and Community Engagement

CITY OF LEROY

Rebecca Charles, EDA Coordinator

122 Main Street

LeRoy, MN 55951

rebecca.charles@cedausa.com

605.695.6765

Comprehensive Housing Study and Needs Analysis

CITY OF CHATFIELD

Joel Young, MCMC/City Administrator

21 Second Street Southeast

Chatfield, MN 55923

jyoung@ci.chatfield.mn.us

507.867.3810

Professional Planning Services

CITY OF PINE ISLAND

David Todd, City Administrator

250 South Main Street

PO Box 1000

Pine Island, MN 55963

David.Todd@ci.pineisland.mn.us

507.365.4591

Professional Planning Services



WIDSETH

ARCHITECTS ■ ENGINEERS
SCIENTISTS ■ SURVEYORS

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Grand Forks | Mankato | Perham | Rochester | Wyoming

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