

Memo

To: Devin Swanberg
Date: September 1, 2023
From: Angela Popenhagen
Re: C&E Wurzer Construction – 12 Unit Apartment Building

Below is a review of the 12-unit apartment building located on Ridge Road adjacent to Kwik Trip. The information received includes a civil site plan set from Cedar Corporation dated August 2023. No architectural plans or stormwater management report was received.

Zoning Requirements

- The property is currently zoned R-3 Multifamily Residential District which is limited to 12 units or fewer.
- This property is located within the Osceola Airport Overlay Zoning. The maximum allowable top of building elevation in the overlay is 943.0. This will need to be confirmed when architectural plans are received. In addition, the developer will be required to obtain permits from the Federal Aviation Administration.
- The lot size exceeds the minimum requirements.
- We do not know the building height without the architectural plans. Maximum allowable building height is 35-feet.
- The provided front yard setback (30-feet) and rear and side yard setbacks (10-feet) comply with the ordinance.
- The ordinance requires certain ratios to be met:
 - A recreation space ratio, defined as the minimum square footage of recreation space required for each square foot of floor area, shall not be less than 0.16. This would mean that the Recreation Space Ratio = $0.16 \times 9,488 \text{ sf (approx.)} = 1,518 \text{ sf}$ is required. No recreational space is shown on the plan.
 - A floor area ratio, defined as the maximum square footage of total floor area permitted for each foot of land area, shall not be more than 0.32. Calculations will be made when architectural plans are received.
 - An open space ratio, defined as the minimum square footage of open space required for each square foot of floor area, shall not be less than 2.0. The approximate open space is $46,284 \text{ sf} / 9,488 \text{ sf} = 4.9$ which is greater than the required ratio of 2.0. This is acceptable.
 - An occupant car ratio, defined as the minimum number of off-street parking spaces without parking time limits required for each living unit, shall not be less than 1.5. This would mean that the Occupant Car Ratio = $12 \text{ units} \times 1.5 = 18 \text{ stalls}$. No parking is shown on the civil plans.

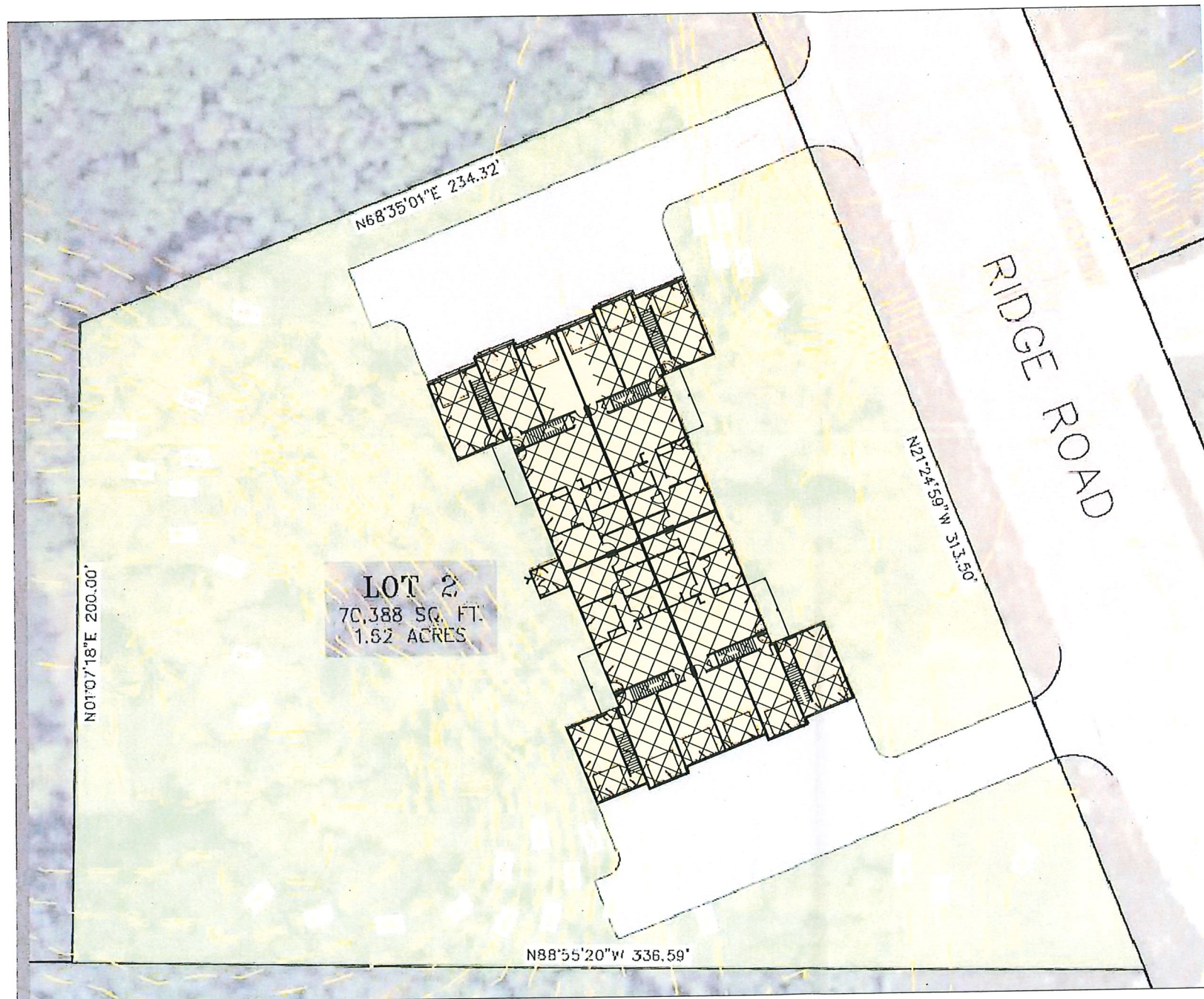
Design / Site Requirements

- A landscaping plan needs to be submitted for consideration and include planting types, quantities, layout and maintenance plan.
- A lighting plan and associated photometrics will need to be submitted for review to ensure lighting does not adversely impact adjoining properties.
- A signage plan shall be submitted for review and approval.
- A sidewalk needs to be extended along Ridge Road to connect with the sidewalk installed by Kwik Trip.
- The existing storm sewer catch basin in Ridge Road falls in the north driveway. A new "drive-over" casting will need to be installed as part of the project.
- Village of Osceola Standard Specifications and Details must be followed. Specifically, the driveway apron appears to not comply.

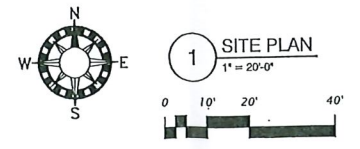
Stormwater Management and Erosion Control

- A stormwater management report needs to be submitted for review.
- Site disturbance will exceed 1-acre; therefore, a DNR stormwater permit will be required. As part of this permit, a long-term maintenance agreement will be needed.

If there are any questions regarding the information in this memo or if you need additional information, please do not hesitate to contact me. Thank you.



LOT 2
70,388 SQ. FT.
1.52 ACRES



ENERGY CODE NOTES:

1. WINDOW MAX U VALUE = 0.32.
2. DOORS WITH MORE THAN 50 % GLASS MAX U = 0.32.
3. DOORS WITH LESS THAN 50 % GLASS MAX U = 0.14
4. CEILING R-60
5. WOOD FRAME WALLS R-19 CAVITY
6. FLOOR R-60
7. FOUNDATION PERIMETER INSULATION R-15

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS

SHEET INDEX

A1	COVER SHEET & SITE PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN & SCHEDULES
A4	ROOF PLAN AND ELEVATIONS
A5	WALL SECTIONS
A6	WALL SECTIONS
A7	WALL SECTIONS
A8	WALL SECTIONS
A9	STAIR SECTION & LIFE SAFETY PLAN
S1	FOUNDATION PLAN
S2	FIRST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	STRUCTURAL SECTIONS & NOTES



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CODE ANALYSIS:

TOTAL AREA PER BLDG	18,879 SF
FOOTPRINT	9,486 SF
GARAGE	4,725 SF
GROUND FLOOR	4,861 SF (EXCLUDES PATIO)
SECOND FLOOR	9,393 SF

TOTAL UNITS PER BUILDING = 12
TOTAL BEDROOMS PER BUILDING = 24
TOTAL BUILDINGS = 1

CODE ANALYSIS:

CODES: 2015 IBC, ANSI A117.1 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

OCCUPANCY R-2, CONSTRUCTION VB, NFPA-13R SPRINKLER SYSTEM

IBC 406.3.4 SEPARATION OF PRIVATE GARAGES FROM DWELLING UNITS SHALL COMPLY WITH 406.3.4.1 THROUGH 406.3.4.3

IBC 406.3.4.1 PRIVATE GARAGES REQUIRE 1/2" SHEETROCK ON WALLS AND 5/8" TYPE 'X' SHEETROCK ON CEILINGS. MAIN DOORS SHALL BE EITHER SOLID WOOD, SOLID OR HONEYCOMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTE RATED ASSEMBLIES.

IBC 420.2 WALLS SEPARATING DWELLING UNITS SHALL BE FIRE PARTITIONS AND COMPLY WITH IBC 708

IBC 420.3 HORIZONTAL ASSEMBLIES TO COMPLY WITH IBC 711

IBC 420.5 AUTOMATIC SPRINKLER SYSTEM TO COMPLY WITH IBC 903.2.8

IBC TABLE 504.4, R-2, S ALLOWS FOR 3 STORIES

IBC TABLE 506.2, R-2, SM ALLOWS 7,000 SF PER FLOOR

IBC 506.2.3 AA = (AT+(NSXIF))XSA; AA = (7000+(7000X0.75))X2; AA = 24,500 SF ALLOWABLE

IBC 506.3.3 IF = (F/P-0.25)W/30; IF = 552/522-0.25)30/30; IF = 0.75

IBC 508.3 NONSEPARATED OCCUPANCIES USED

IBC 602, TABLE 602 10' TO 30' FIRE SEPARATION = 0 HR EXTERIOR WALLS RATED BY TABLE 1020.1

IBC 708.3 FIRE PARTITIONS TO HAVE 1 HOUR FIRE PARTITIONS BETWEEN DWELLING UNITS PER THIS SECTION.

IBC 708.4 FIRE PARTITIONS SHALL EXTEND FROM FOUNDATION TO FIRE RATED FLOOR/CEILING AND FROM FIRE RATED FLOOR/CEILING TO FIRE RATED ROOF/CEILING. PROVIDE FIRE BLOCKING.

IBC 711.2.4.3 THE HORIZONTAL FLOOR AND ROOF ASSEMBLIES BETWEEN DWELLING UNITS SHALL BE 1 HOUR RATED.

IBC 714 PROVIDE PENETRATIONS OF ALL FIRE RATED SYSTEMS AS PER THIS SECTION

IBC 714.4.2 MEMBRANE PENETRATIONS THRU HORIZONTAL ASSEMBLIES: EXCEPTION 7 - CEILING MEMBRANE CAN BE INTERRUPTED WITH A DBL TOP PLATE PROVIDED THE WALL IS SHEATHED WITH TYPE 'X' SHEETROCK.

IBC 717 PROVIDE DUCT AND AIR TRANSFER OPENING PROTECTION AS PER THIS SECTION

IBC 718 CONCEALED SPACES SHALL BE FIREBLOCKED AS PER THIS SECTION

IBC 720 THERMAL INSULATING MATERIALS SHALL COMPLY WITH THIS SECTION.

IBC TABLE 803.11 SPRINKLERED. PROVIDE CLASS C FINISHES FOR ALL WALLS. FLAME SPREAD INDEX 76-200 SMOKE DEVELOPED INDEX 0-450

IBC 801 INTERIOR FINISHES SHALL COMPLY WITH THIS SECTION.

IBC 903.2.8 AUTOMATIC SPRINKLER SYSTEM IS REQUIRED

IBC 903.3.1.2 PROVIDE NFPA 13R SPRINKLER SYSTEM.

IBC 906 PROVIDE PORTABLE FIRE EXTINGUISHERS AS PER THIS SECTION

IBC 907.2.9, EXCEPTION 1, MANUAL FIRE ALARM BOXES ARE NOT REQUIRED W/ 1 HOUR SEPERATION WALLS AND DIRECT ACCESS TO PUBLIC WAY.

IBC 907.2.11.2, PROVIDE SMOKE DETECTION PER THIS SECTION

IBC 915 INSTALL CARBON MONOXIDE DETECTION AS PER THIS SECTION

IBC TABLE 1006.2.1 ALLOWS ONE EXIT FROM DWELLING UNIT WITH MAXIMUM COMMON PATH EXIT DISTANCE IN R-2 OCCUPANCY WITH SPRINKLER SYSTEM & MAX OCCUPANT LOAD OF 10 = 125'. ACTUAL = 112' MAX.

IBC 1015.8 WINDOW OPENING CONTROL DEVICES SHALL BE PROVIDED ON UPPER FLOOR WINDOWS IF THEY ARE LESS THAN 36" ABOVE THE FLOOR AND SHALL COMPLY WITH ASTM F 2090 TO ALLOW MAX 4" OPENING.

IBC 1019.3 ITEM 1 - EXIT ACCESS STAIRWAYS THAT SERVE BETWEEN ONLY TWO STORIES SHALL NOT REQUIRE SHAFT ENCLOSURE CONSTRUCTION.

IBC 1030 EMERGENCY ESCAPE AND RESCUE IN SECOND STORY UNITS WITH ACCESS TO ONE EXIT AS PER TABLE 1006.3.2(1). PROVIDE ONE EMERGENCY EGRESS IN EACH SLEEPING ROOM. PROVIDE MIN 5.7 SQ FT OPENING, 20" MIN WIDTH X 24" MIN HEIGHT NET OPENING AT 44" MAX TO FINISH FLOOR.

IBC 1107.7.1 ALL UNITS ON THE GROUND FLOOR ARE REQUIRED TO BE TYPE 'B' UNITS

IBC 1107.7.2 SECOND FLOOR UNITS ARE NOT TYPE 'B' UNITS

IBC 1504 & 1505 ASPHALT SHINGLES SHALL COMPLY WITH THESE SECTIONS.

IBC 1709.5.2 EXTERIOR DOOR TO COMPLY WITH THIS SECTION.

IBC CHAPTER 18, SOILS & FOUNDATIONS SHALL COMPLY WITH THIS CHAPTER.

IBC CHAPTER 1907 CONCRETE SLAB PROVISIONS SHALL COMPLY WITH THIS SECTION.

IBC 2101 MASONRY MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.

IBC CHAPTER 23 WOOD MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.

IBC CHAPTER 26 FOAM PLASTIC INSULATION MATERIAL, DESIGN AND CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.

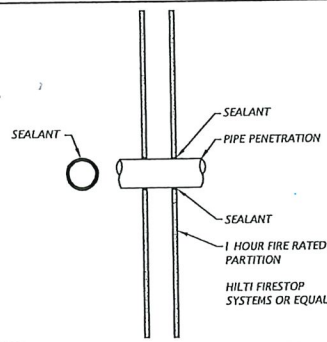
IBC CHAPTER 33 SAFEGUARDS DURING CONSTRUCTION SHALL COMPLY WITH THIS CHAPTER.

OSCEOLA HEIGHTS - 12 PLEX - LOT 2

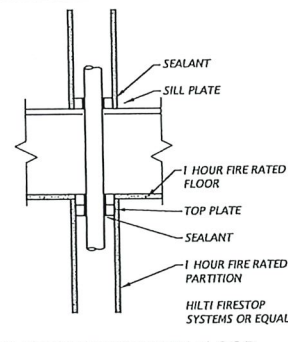
RIDGE ROAD
OSCEOLA, WI

COVER SHEET & SITE PLAN

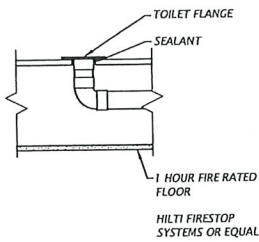
6-23-23
A1



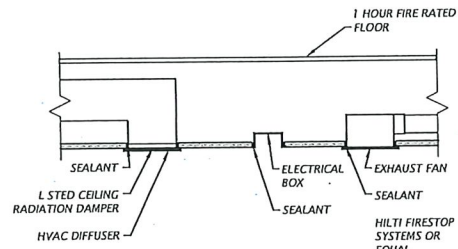
4 PIPE PENETRATION THRU WALL
1" = 1'-0"



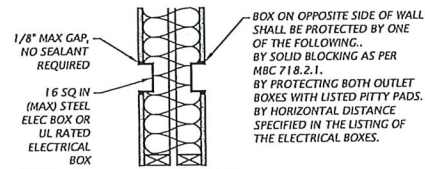
5 PIPE PENETRATION THRU FLOOR
1" = 1'-0"



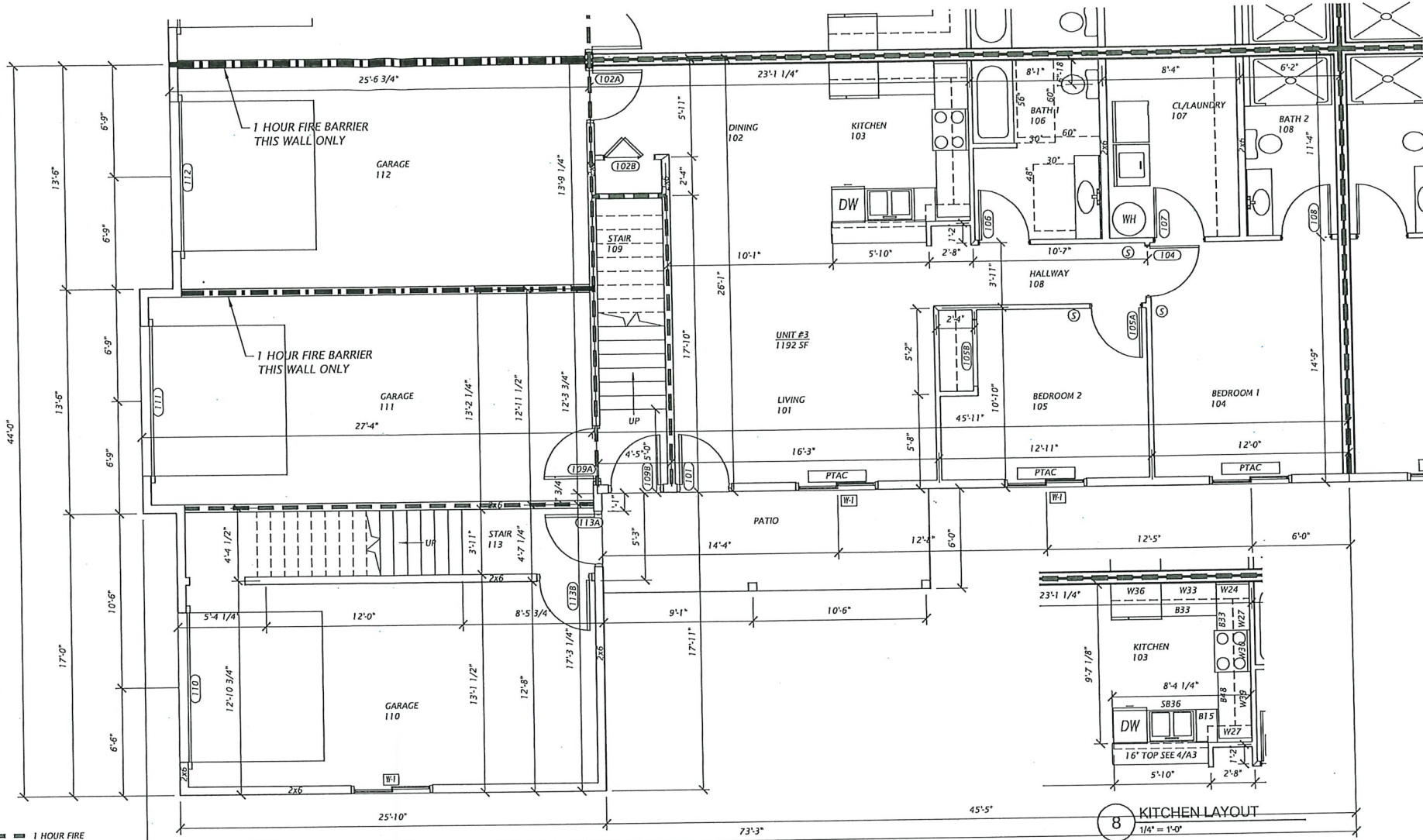
6 DRAIN PIPE PENETRATION
1" = 1'-0"



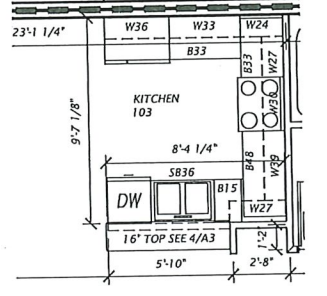
7 CEILING PENETRATION DETAILS
1" = 1'-0"



8 ELECTRICAL BOXES
1" = 1'-0"



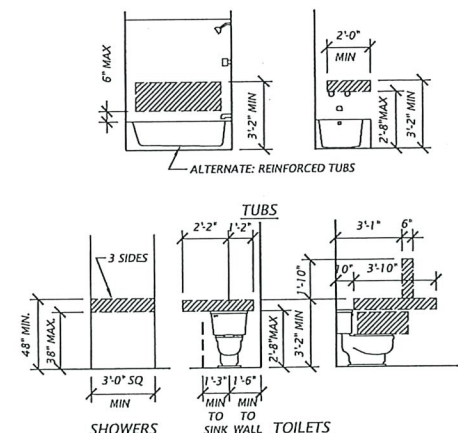
2 ENLARGED PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"



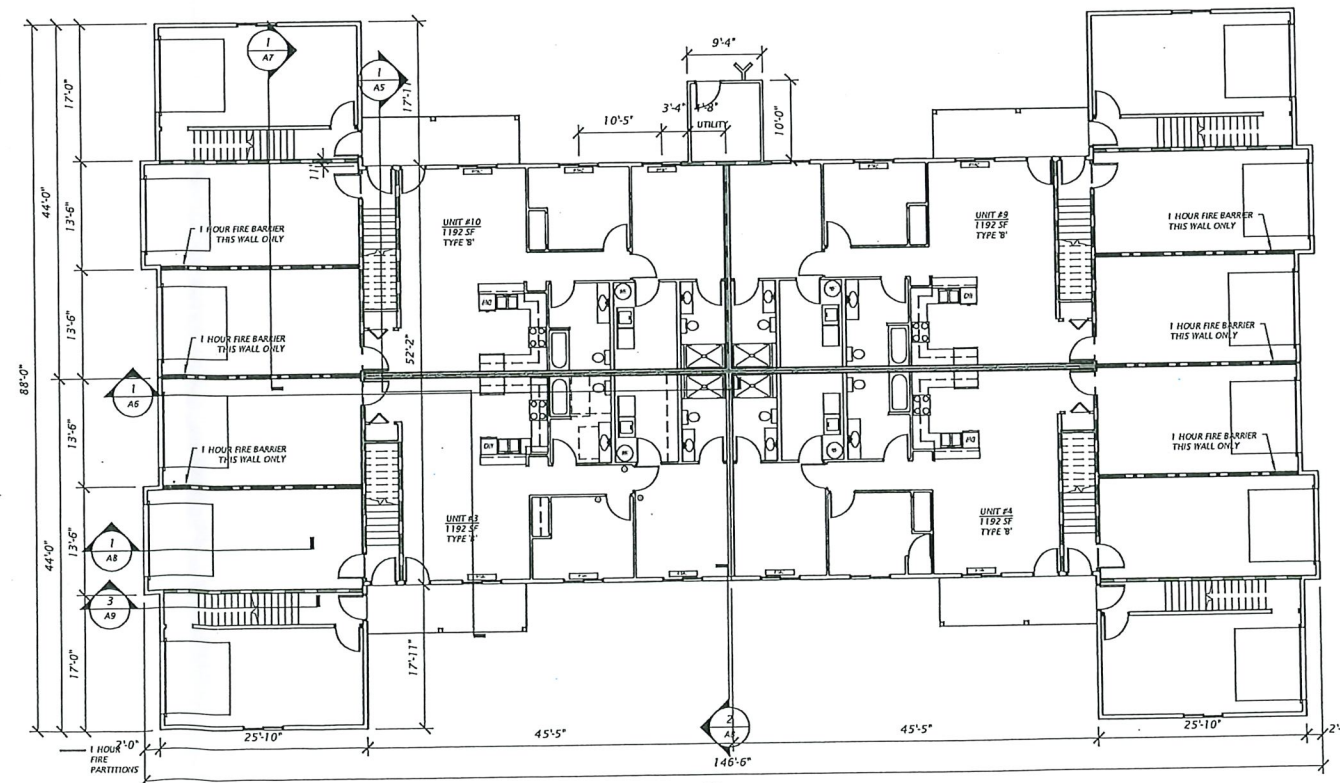
8 KITCHEN LAYOUT
3/4" = 1'-0"

HANDICAP NOTES, ALL UNITS ON FIRST FLOOR (TYPE B), TO COMPLY WITH ANSI A117.1 2009:

PROVIDE INTERIOR HANDICAP ACCESS TO ALL UNITS, SWITCHES, RECEPTACLES AND CONTROLS TO BE FROM 15" TO 44" ABOVE FINISHED FLOOR AND OPERATE WITH ONE HAND.
 PROVIDE GRAB BAR BLOCKING IN BATH 1, FIRST FLOOR ONLY FOR THIS DETAIL.
 DOORS TO HAVE MIN 31 3/4" CLEAR OPENING. ENTRANCE DOOR REQUIRES 32" MIN CLEAR OPENING AND PROVIDE 24" CLEAR TO LATCH SIDE OF ENTRANCE DOORS. DOORS TO HAVE LEVER HANDLES 34" TO 48" HEIGHT.
 ICC/ANSI A117.1 SEC. 1004.5.2.1 - DOORWAYS INTENDED FOR USER PASSAGE WITHIN TYPE B DWELLING OR SLEEPING UNITS INTENDED TO BE USED AS A RESIDENCE SHALL HAVE A 31 3/4" INCH CLEAR OPENING, INCLUDING DOORWAYS TO DECKS, PATIOS OR BALCONIES. WHEN THE DEPTH OF THE DOOR OPENING IS MORE THAN 24 INCHES THE CLEAR OPENING SHALL BE 36 INCHES.
 ICC/ANSI A117.1 SEC. 1004.10 - WASHING MACHINES AND CLOTHES DRYERS USED BY TYPE B DWELLING UNITS SHALL COMPLY WITH CLEAR FLOOR SPACE REQUIREMENTS OF SEC. 305.3, CENTERED ON EACH APPLIANCE FOR A PARALLEL APPROACH.
 MAX 1/2" THRESHOLD BEVELED 1:2 TO MAXIMUM 1/4" INCH VERTICAL RISE.



1 GRAB BAR BLOCKING DETAILS
1/4" = 1'-0" 2x8 BLOCKING (250 LB LOAD)
(ALL BATH ROOMS)



1 OVERALL FIRST FLOOR PLAN
3/32" = 1'-0"

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OSCEOLA HEIGHTS - 12 PLEX - LOT 2
RIDGE ROAD
OSCEOLA, WI

FIRST FLOOR PLANS
6-23-23
A2

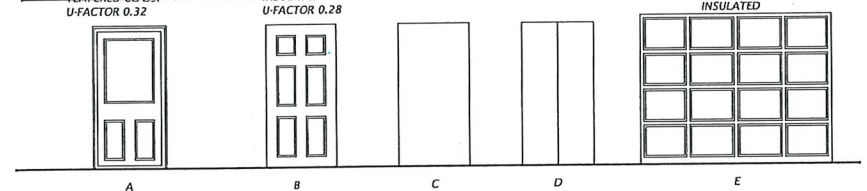
ROOM FINISH SCHEDULE										
NO.	ROOM NAME	CLG. HGT.	FLOOR		BASE		WALLS		CEILING	NOTES
			FINISH	CONCRETE	FINISH	FINISH	FINISH	FINISH		
101	LIVING	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
102	DINING	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
103	KITCHEN	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
104	BEDROOM	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
105	BEDROOM	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
106	BATH	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
107	LAUNDRY	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
108	CLOSET	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
109	STAIR	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		VINYL @ LANDING
110	GARAGE	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
111	GARAGE	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
112	GARAGE	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
113	STAIR	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		VINYL @ LANDING
114	SPRINKLER	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
201	LIVING	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
202	DINING	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
203	KITCHEN	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
204	BEDROOM	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
205	BEDROOM	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
206	BATH	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
207	CLOSET/LAUNDRY	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
208	CLOSET	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
211	LIVING	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
212	DINING	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
213	KITCHEN	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
214	BATH	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
215	BEDROOM	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
216	CLOSET	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
217	LAUNDRY	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
218	BEDROOM	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
219	BATH	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		
220	PANTRY	8'-0"	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD		

ROOM FINISH NOTES
 1. ALL FINISHES TO BE VERIFIED BY GENERAL CONTRACTOR
 2. ALL COLORS BY OWNER.

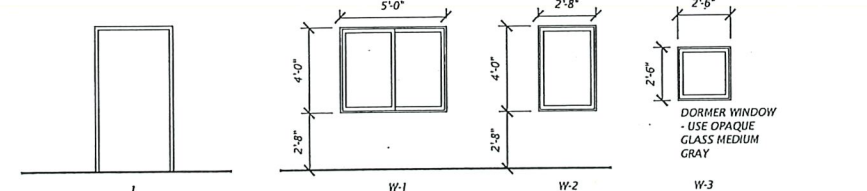
DOOR SCHEDULE (TO BE FINISHED BY GENERAL CONTRACTOR)									
NO.	DOOR	SIZE	MATERIAL		FRAME		HARDWARE		NOTES
			W	L	W	L	1	2	
101A	3'-0"x8'-0" R-L 1 3/4"	WOOD	A	WOOD	WOOD	WOOD	1	2	PATIO DOOR
101B	3'-0"x8'-0" R-L 1 3/4"	WOOD	B	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
102A	3'-0"x8'-0" R-L 1 3/4"	WOOD	B	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
102B	3'-0"x8'-0" R-L 1 3/4"	WOOD	D	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
104	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
105A	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
105B	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
106	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
107	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
108	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
109A	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
109B	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
110	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
111	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
112	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
113A	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
113B	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
114	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
201A	3'-0"x8'-0" R-L 1 3/4"	WOOD	A	WOOD	WOOD	WOOD	1	2	PATIO DOOR
201B	3'-0"x8'-0" R-L 1 3/4"	WOOD	B	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
204	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
205A	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
205B	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
206	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
207A	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
208	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
213	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
214	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
215	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
216	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
217	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
218A	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
218B	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
219	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING
220	3'-0"x8'-0" R-L 1 3/4"	WOOD	C	WOOD	WOOD	WOOD	1	2	INSULATED, 20 MIN SELF CLOSING

HARDWARE
 1 HINGES
 2 WALLSTOP
 3 CLOSER
 4 PULL
 5 PUSH PLATE
 6 KICKPLATE
 7 KEYS LOCKSET
 8 PRIVACY LOCKSET
 9 PASSAGE LOCKSET

NOTES
 1. ALL LOCKSETS TO MEET BARRIER-FREE STANDARDS.
 2. ALL HARDWARE W/ LEVER HANDLES
 3. MATCH EXISTING DOORS, FRAMES & HARDWARE



DOOR TYPES
 1/4" = 1'-0"

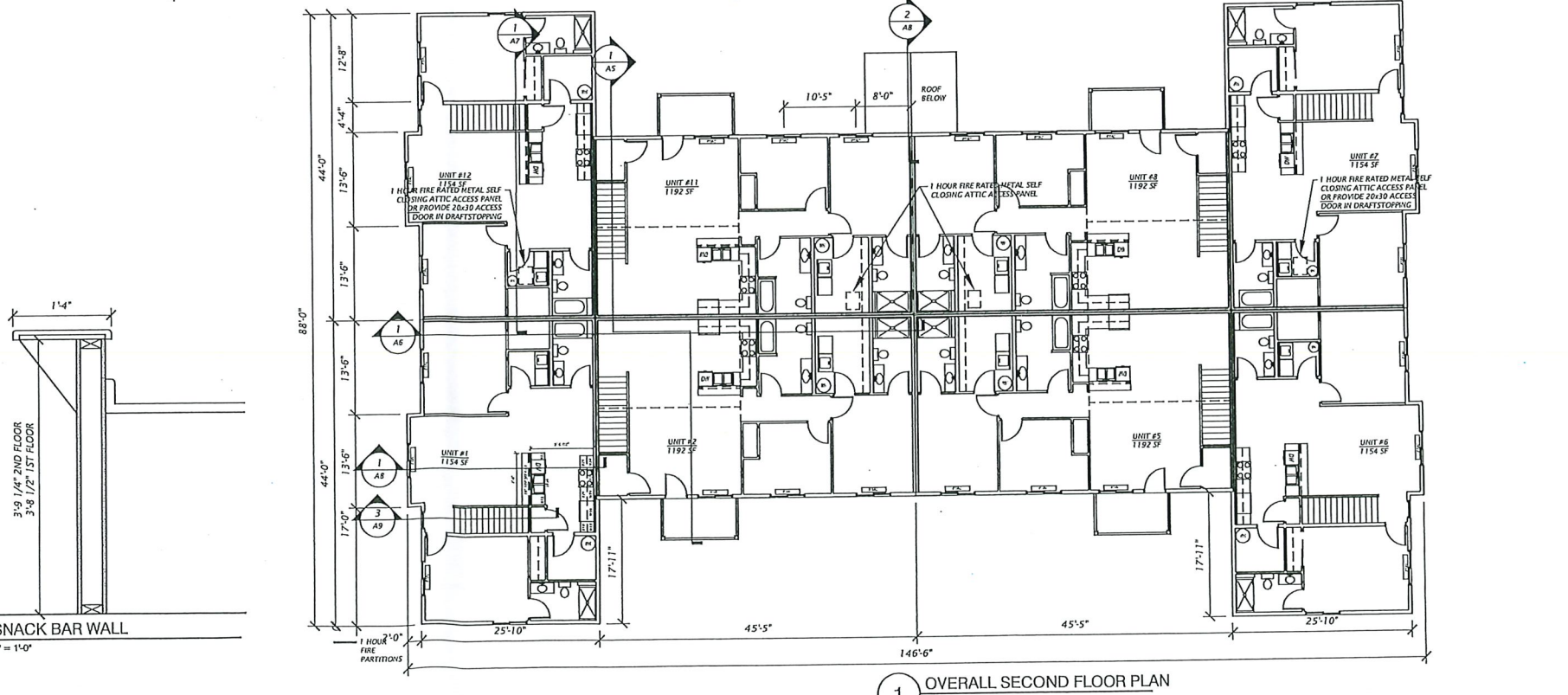
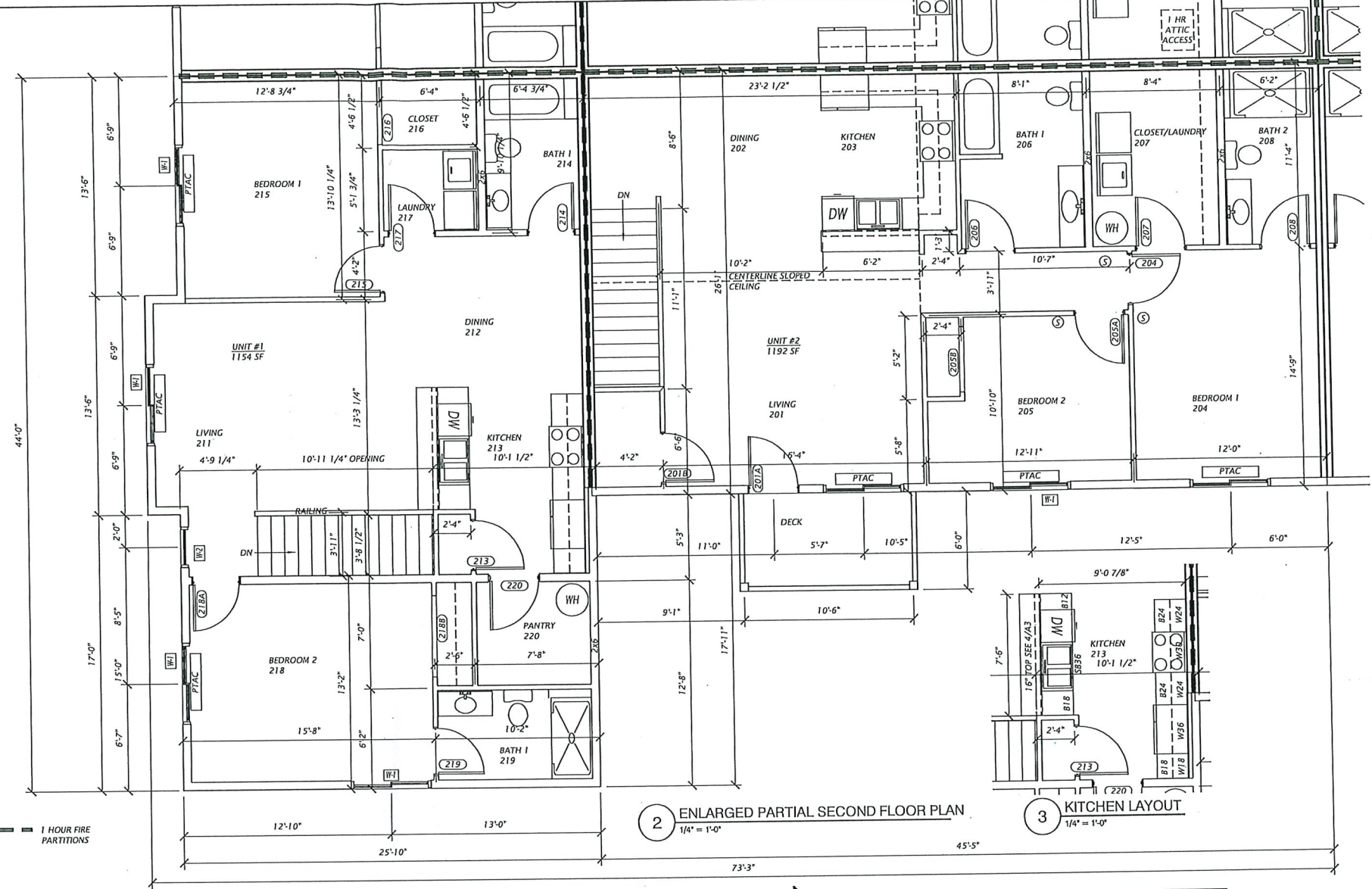


WINDOW TYPES
 1/4" = 1'-0"

WINDOW - SLIDER W/ LOW-E INSULATING GLASS.
 U-FACTOR 0.32

NOTE: LATCHES MAX. 48" ABOVE FLOOR ON LOWER LEVEL UNITS.
 PROVIDE FALL GUARDS FOR SECOND FLOOR WINDOWS.
 EMERGENCY ESCAPE AND RESCUE. PROVIDE ONE EMERGENCY EGRESS IN EACH SLEEPING ROOM. PROVIDE MIN 5.7 SQ FT OPENING, 20" MIN WIDTH x 24" MIN HEIGHT NET OPENING AT 44" MAX TO FINISH FLOOR.
 NBC 101 3.8 WINDOW OPENING CONTROL DEVICES SHALL BE PROVIDED ON UPPER FLOOR WINDOWS IF THEY ARE LESS THAN 36" ABOVE THE FLOOR AND SHALL COMPLY WITH ASTM F 2090 TO ALLOW MAX 4" OPENING.

FRAME TYPES
 1/4" = 1'-0"



2 ENLARGED PARTIAL SECOND FLOOR PLAN
 1/4" = 1'-0"

3 KITCHEN LAYOUT
 1/4" = 1'-0"

4 SNACK BAR WALL
 1" = 1'-0"

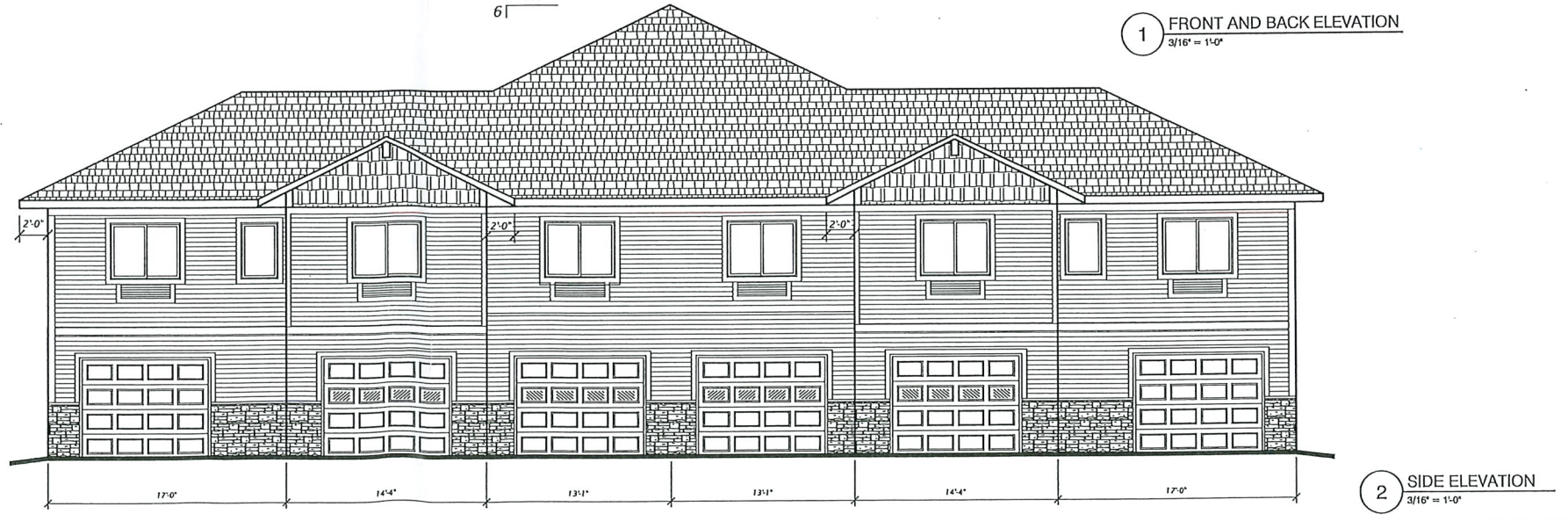
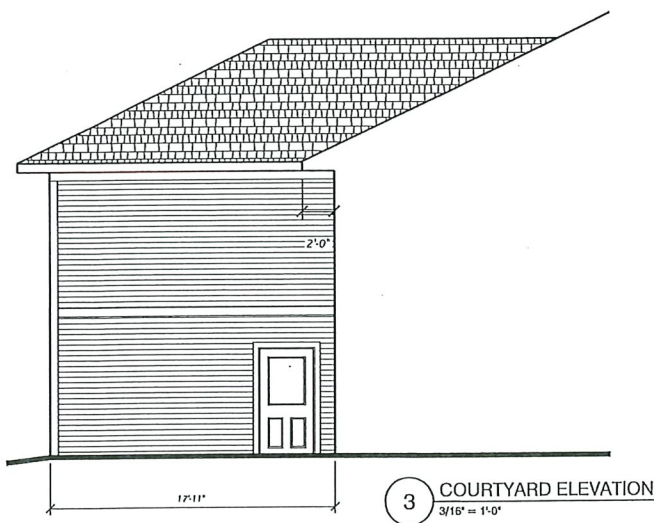
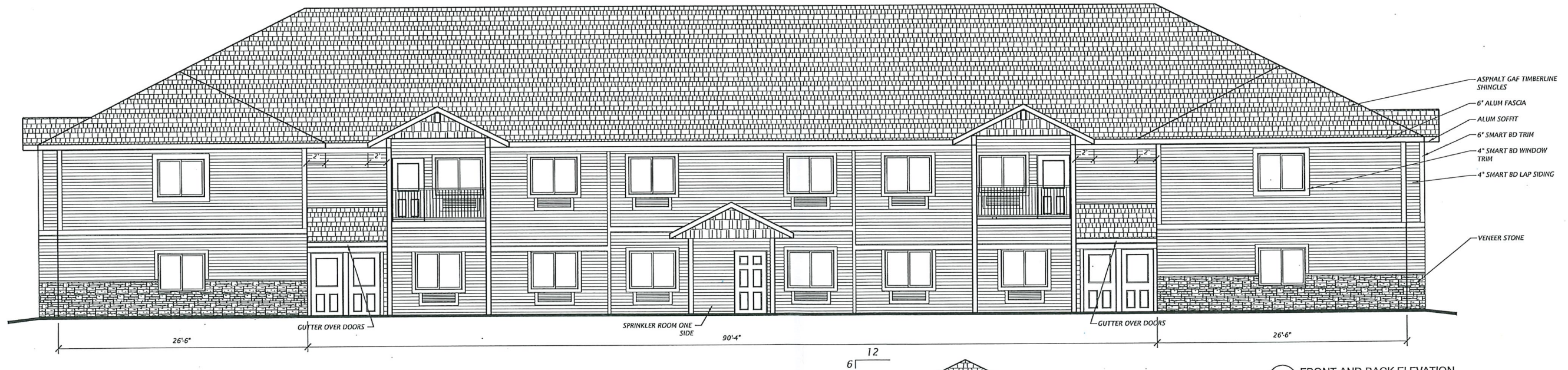
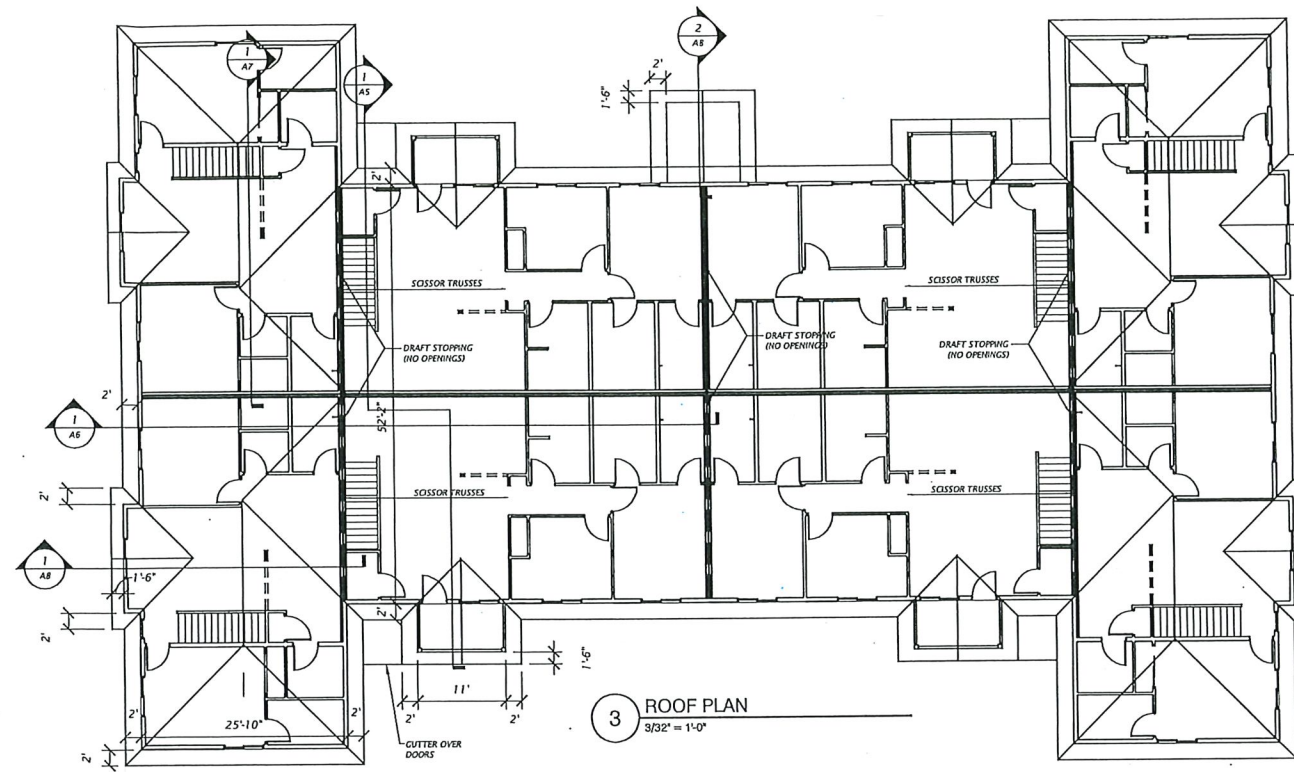
1 OVERALL SECOND FLOOR PLAN
 3/32" = 1'-0"

ROBERT D. JOHNSON ARCHITECT
 5201 STONEWOOD DRIVE
 EAU CLAIRE, WISCONSIN 54703
 715.828.8330
 RDJARCHITECT@GMAIL.COM

OSCEOLA HEIGHTS - 12 PLEX - LOT 2
 RIDGE ROAD
 OSCEOLA, WI

SECOND FLOOR PLANS
 SCHEDULES

6-23-23
 A3









C&E WURZER CONSTRUCTION

12-UNIT APARTMENT BUILDING SITE

VILLAGE OF OSCEOLA, WISCONSIN

JOB NO. C6945-0001
BOOK NO.
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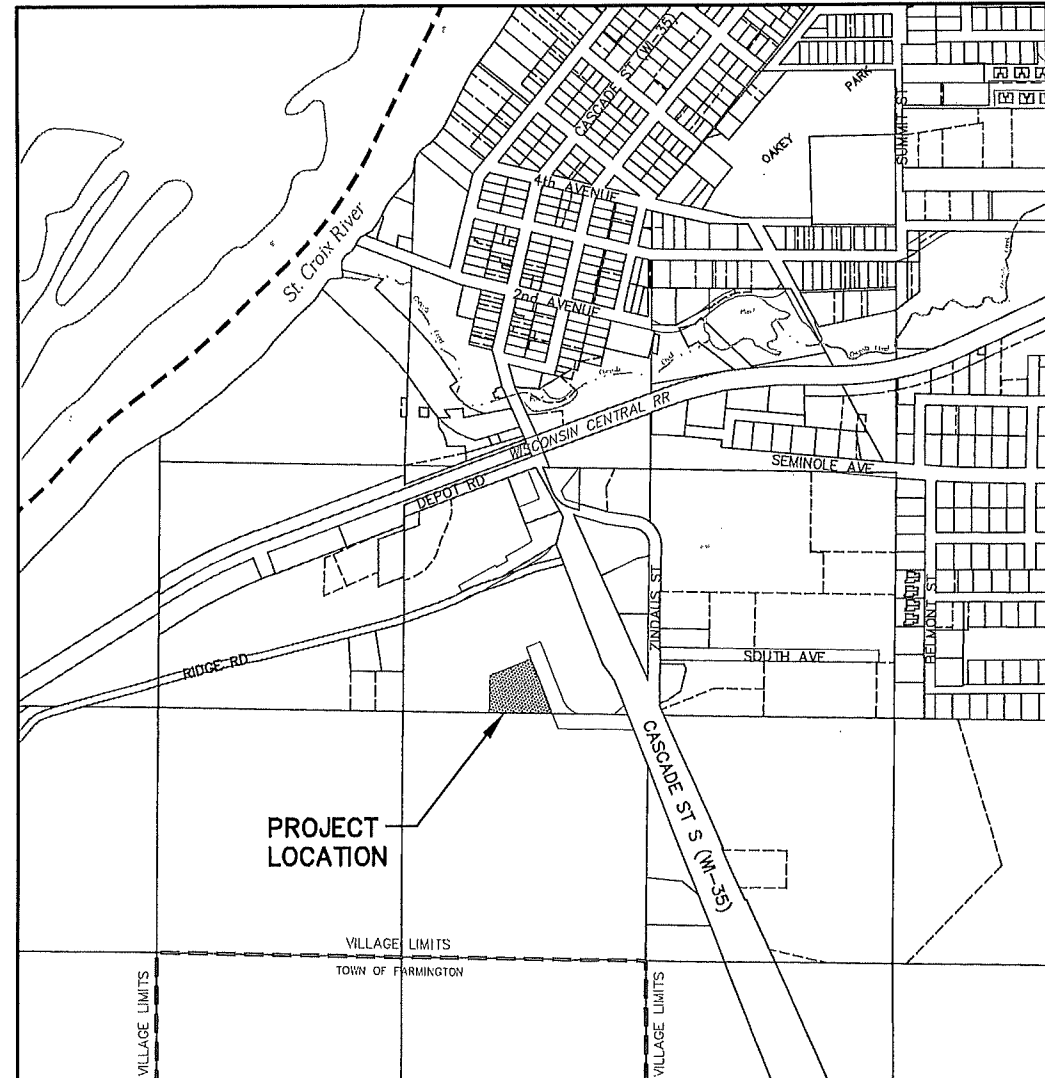
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architects, architects, interior, environmental, landscape, landscape architecture, interior design

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FAX 809-249-5824

604 Wilson, W. 54751
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VILLAGE OF OSCEOLA, WI

PLAN INDEX

SHEET	SHEET DESCRIPTION
C000	TITLE SHEET
C100	EXISTING SITE CONDITIONS
C101	SITE PLAN
C102	GRADING PLAN
C103	EROSION CONTROL PLAN
C104	UTILITY PLAN
C105	CONSTRUCTION DETAILS
C106	CONSTRUCTION DETAILS

C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
TITLE SHEET

SHEET NO.
C000

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND THAT I AM A DULY REGISTERED PROFESSIONAL UNDER THE LAWS OF THE STATE OF WISCONSIN.

F:\Clients-Memo\C6954-C & E Wurzer Builders - Lake Hallie\001 12 Unit Apartment Building Site Village of Osceola W\04 CAD\DWG\00base_6954001 FF 694-00.dwg 08/24/23 12:46:54 PM

LEGEND

- 825 EXISTING CONTOUR LINE
- 824 UNDERGROUND ELECTRIC LINES
- UGE UNDERGROUND GAS
- GAS UNDERGROUND GAS
- FO UNDERGROUND FIBER OPTICS
- BUILDING WALL
- CHAIN LINK FENCE
- TREE LINE

- DECIDUOUS TREE
- EVERGREEN TREE
- POWER POLE
- LIGHT POLE
- GUY WIRE
- UTILITY PEDESTAL
- SIGN
- IRON PIPE
- REBAR

ABBREVIATIONS

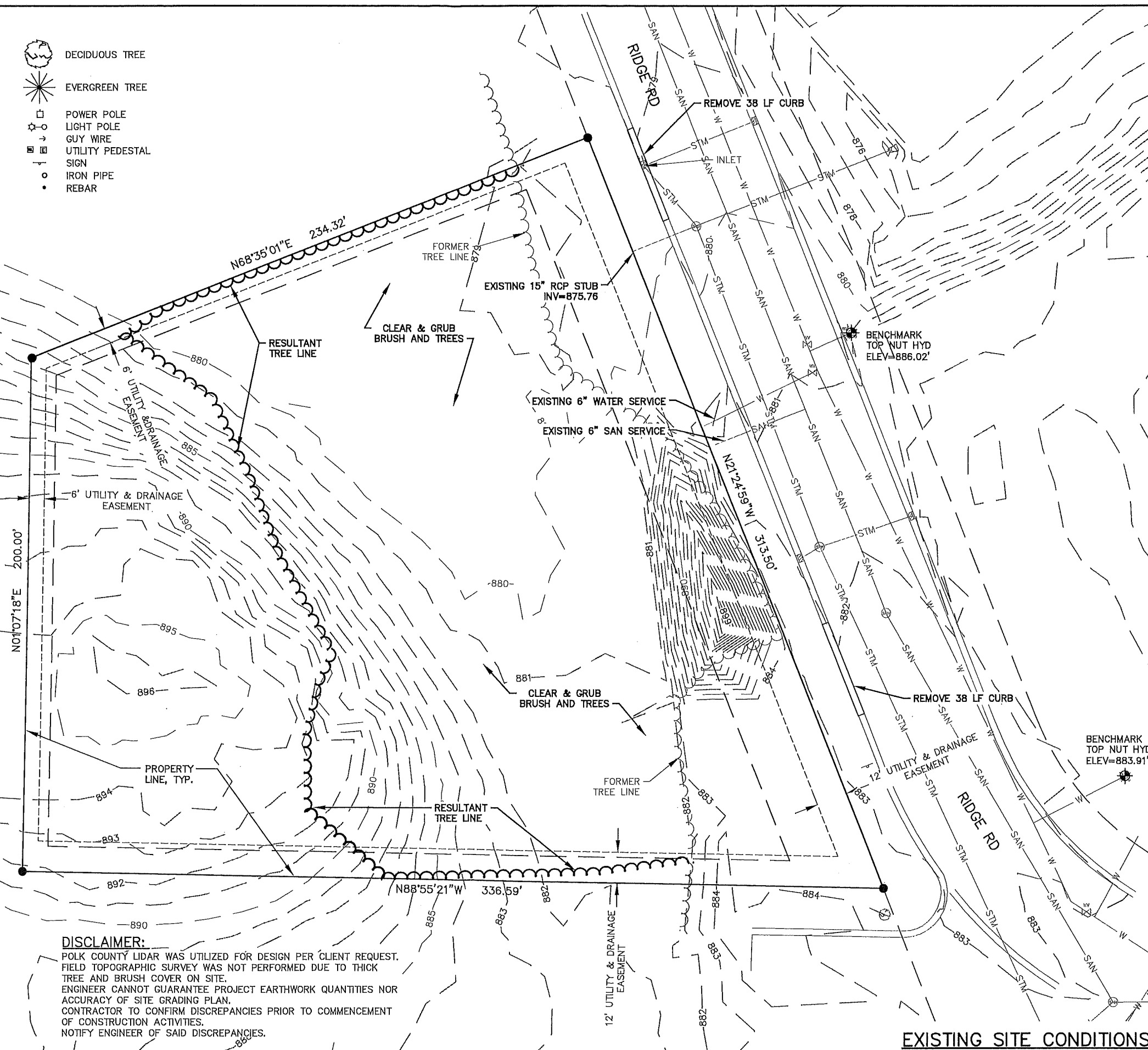
- | | |
|--------|--------------------------|
| CONC. | CONCRETE |
| CMP | CORRUGATED METAL PIPE |
| ELEV. | ELEVATION |
| EXIST. | EXISTING |
| EX. | EXISTING |
| HYD. | HYDRANT |
| INL. | STORM INLET |
| INV. | INVERT |
| FL | FLOW LINE |
| FF | FIRST FLOOR |
| LAT. | LATERAL |
| MH | MANHOLE |
| PIT | TEST PIT |
| PVC | POLYVINYL CHLORIDE PIPE |
| RCP | REINFORCED CONCRETE PIPE |
| R/W | RIGHT OF WAY |
| SAN. | SANITARY |
| SDWK. | SIDEWALK |
| SEW. | SEWER |
| STM. | STORM |
| TC | TOP OF CURB |
| TYP. | TYPICAL |
| VAR. | VARIABLE |

NOTES:

- EXISTING VERTICAL ELEVATIONS TO BE VERIFIED. SOURCE = POLK COUNTY LIDAR ELEVATION DATA.
- CEDAR CORPORATION SHALL NOT BE HELD RESPONSIBLE FOR ANY UTILITIES NOT LOCATED. FIELD VERIFY.

DISCLAIMER:

POLK COUNTY LIDAR WAS UTILIZED FOR DESIGN PER CLIENT REQUEST. FIELD TOPOGRAPHIC SURVEY WAS NOT PERFORMED DUE TO THICK TREE AND BRUSH COVER ON SITE. ENGINEER CANNOT GUARANTEE PROJECT EARTHWORK QUANTITIES NOR ACCURACY OF SITE GRADING PLAN. CONTRACTOR TO CONFIRM DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. NOTIFY ENGINEER OF SAID DISCREPANCIES.



EXISTING SITE CONDITIONS

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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
EXISTING SITE CONDITIONS

SHEET NO.
C100

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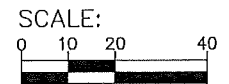
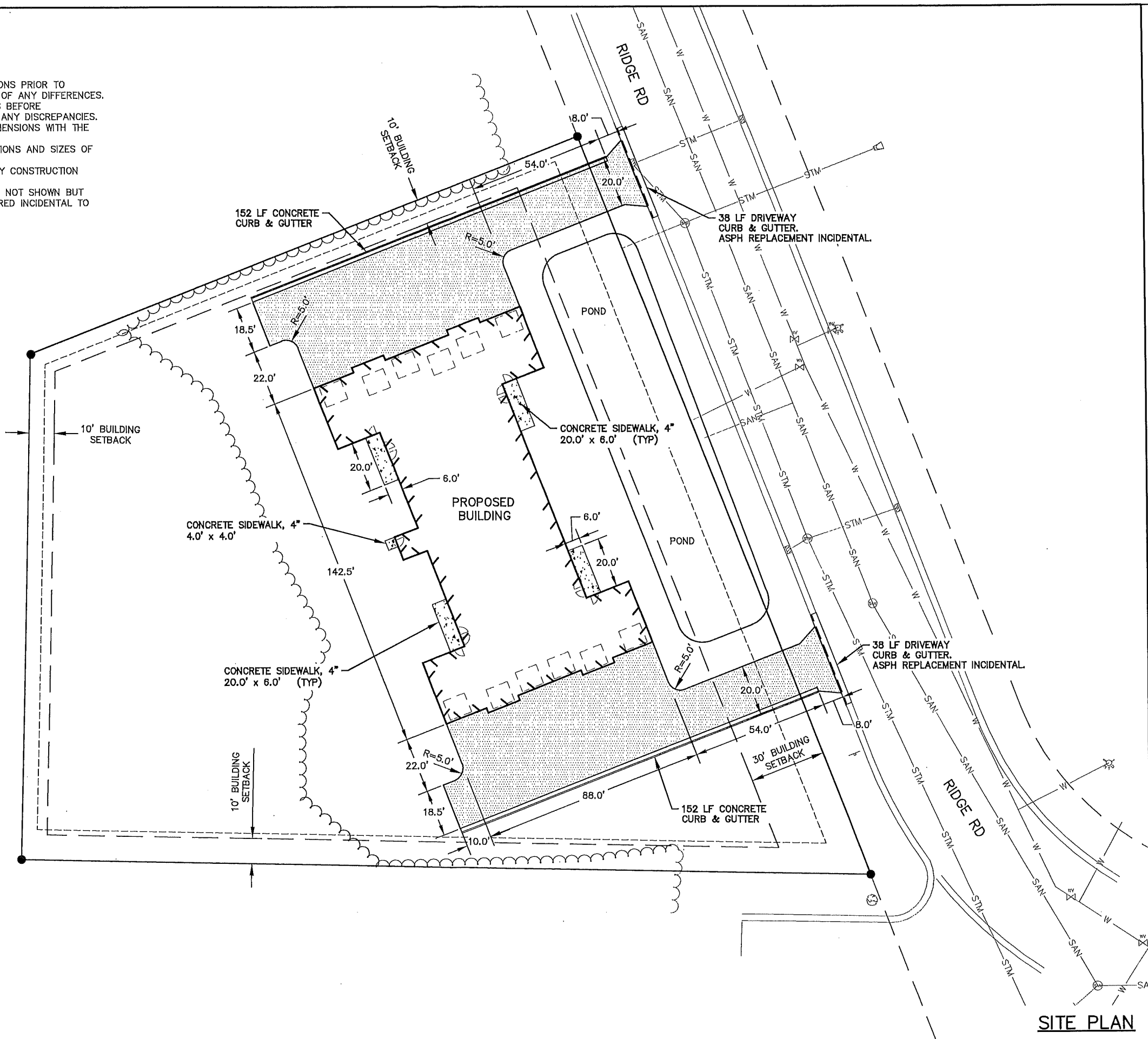
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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
SITE PLAN

SHEET NO.
C101

NOTES:

- ZONING, R-3 MULTI-FAMILY
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND SIZES OF ALL EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- ANY REMOVALS, RELOCATIONS OR ABANDONMENTS NOT SHOWN BUT REQUIRED FOR CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION COSTS. FIELD VERIFY.



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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
GRADING PLAN

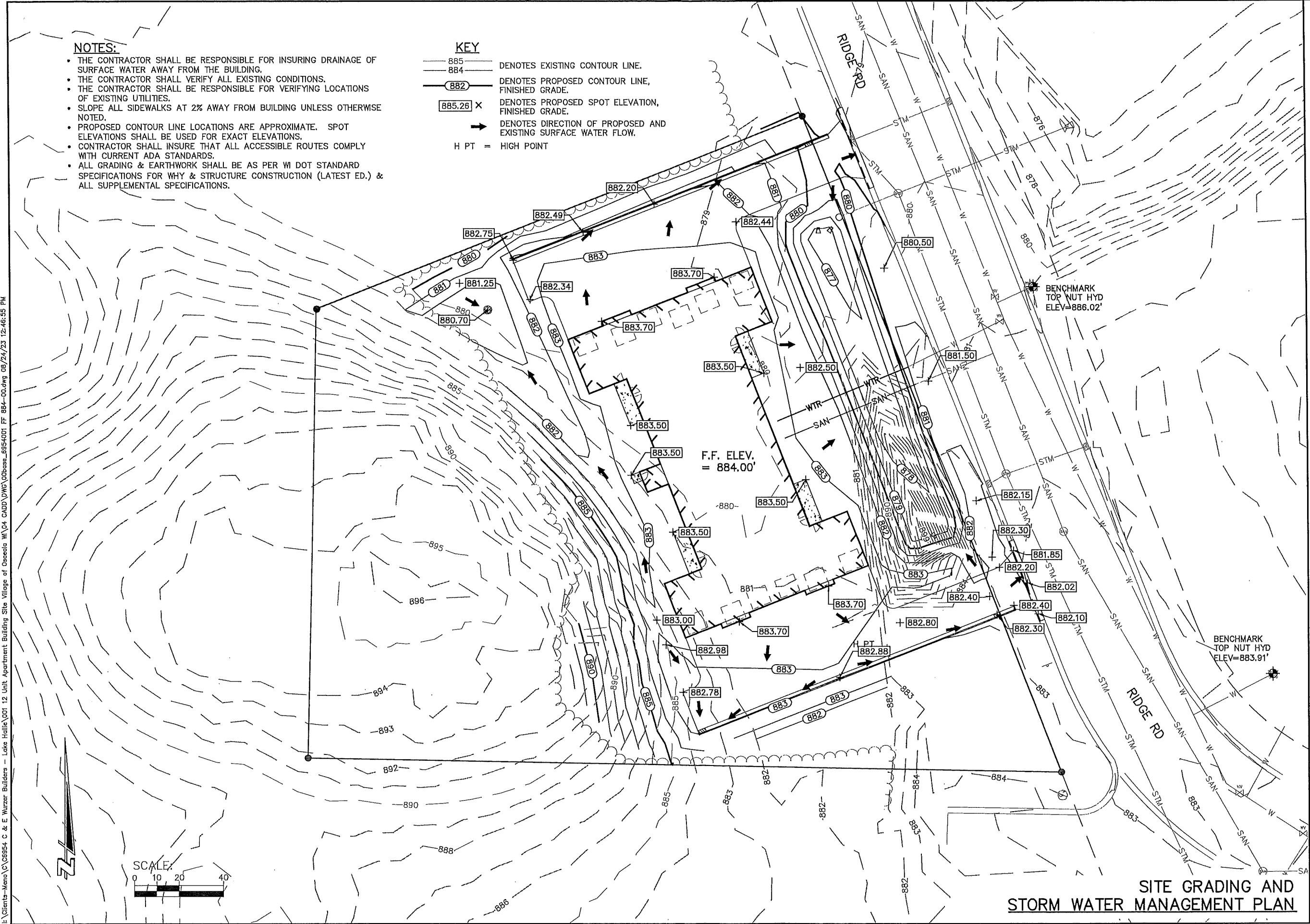
SHEET NO.
C102

NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.
- SLOPE ALL SIDEWALKS AT 2% AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
- PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE. SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
- CONTRACTOR SHALL INSURE THAT ALL ACCESSIBLE ROUTES COMPLY WITH CURRENT ADA STANDARDS.
- ALL GRADING & EARTHWORK SHALL BE AS PER WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION (LATEST ED.) & ALL SUPPLEMENTAL SPECIFICATIONS.

KEY

- 885 ——— DENOTES EXISTING CONTOUR LINE.
- 884 ——— DENOTES PROPOSED CONTOUR LINE, FINISHED GRADE.
- 882.26 X DENOTES PROPOSED SPOT ELEVATION, FINISHED GRADE.
- DENOTES DIRECTION OF PROPOSED AND EXISTING SURFACE WATER FLOW.
- H PT = HIGH POINT



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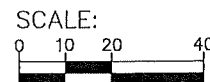
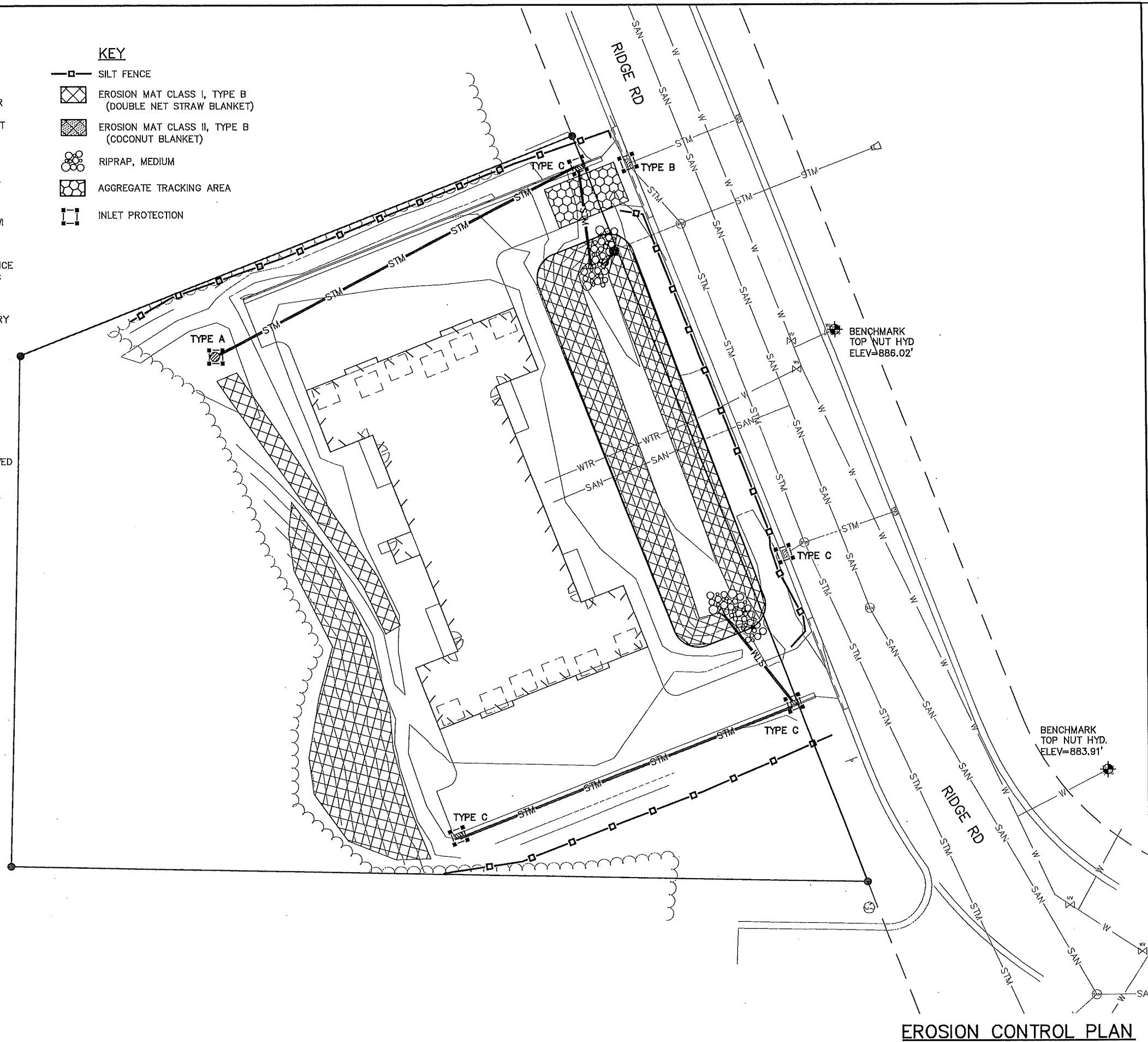
SITE GRADING AND STORM WATER MANAGEMENT PLAN

NOTES:

- THE CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES AS THE FIRST CONSTRUCTION ACTIVITY.
- SEED & MULCH & FERTILIZE ALL DISTURBED AREAS OVER 4" OF TOPSOIL.
- SEEDING SHALL BE SEED MIXTURE No. 40 AS PER WI DOT STAND SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION.
- SEED SHALL BE SOWN IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 630.3; EITHER METHOD A OR B.
- SEED MULCH SHALL BE IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.2.
- SEED MULCH SHALL BE APPLIED IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.3.2; METHOD B OR C.
- TOPSOIL SHALL BE SUPPLIED & INSTALLED IN ACCORDANCE WITH WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 625.
- ADJUST OR ADD SILT FENCE AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- INSTALL SILT FENCE AS NEEDED AROUND ANY TEMPORARY SOIL STORAGE PILES.
- TRACKING AREA, REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.
- SUPPLY EROSION CONTROL MAT AS PER WI DOT PAL REQUIREMENTS. INSTALL EROSION CONTROL MAT AS PER MANUFACTURERS SPECIFICATIONS.
- ALL DISTURBED AREAS LEFT FOR MORE THAN 14 DAYS SHALL BE STABILIZE W/ SEED & MULCH TO PREVENT EROSION.
- ALL WASTE & UNUSED BUILDING MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF & NOT ALLOWED TO BE CARRIED OFF BY STORM WATER RUNOFF.
- THE CONTRACTOR SHALL FOLLOW ALL PRACTICES AS DEFINED IN THE WI DNR TECHNICAL STANDARDS FOR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL.

KEY

- SILT FENCE
- ▨ EROSION MAT CLASS I, TYPE B (DOUBLE NET STRAW BLANKET)
- ▩ EROSION MAT CLASS II, TYPE B (COCONUT BLANKET)
- ⊙ RIPRAP, MEDIUM
- ⊞ AGGREGATE TRACKING AREA
- INLET PROTECTION



EROSION CONTROL PLAN

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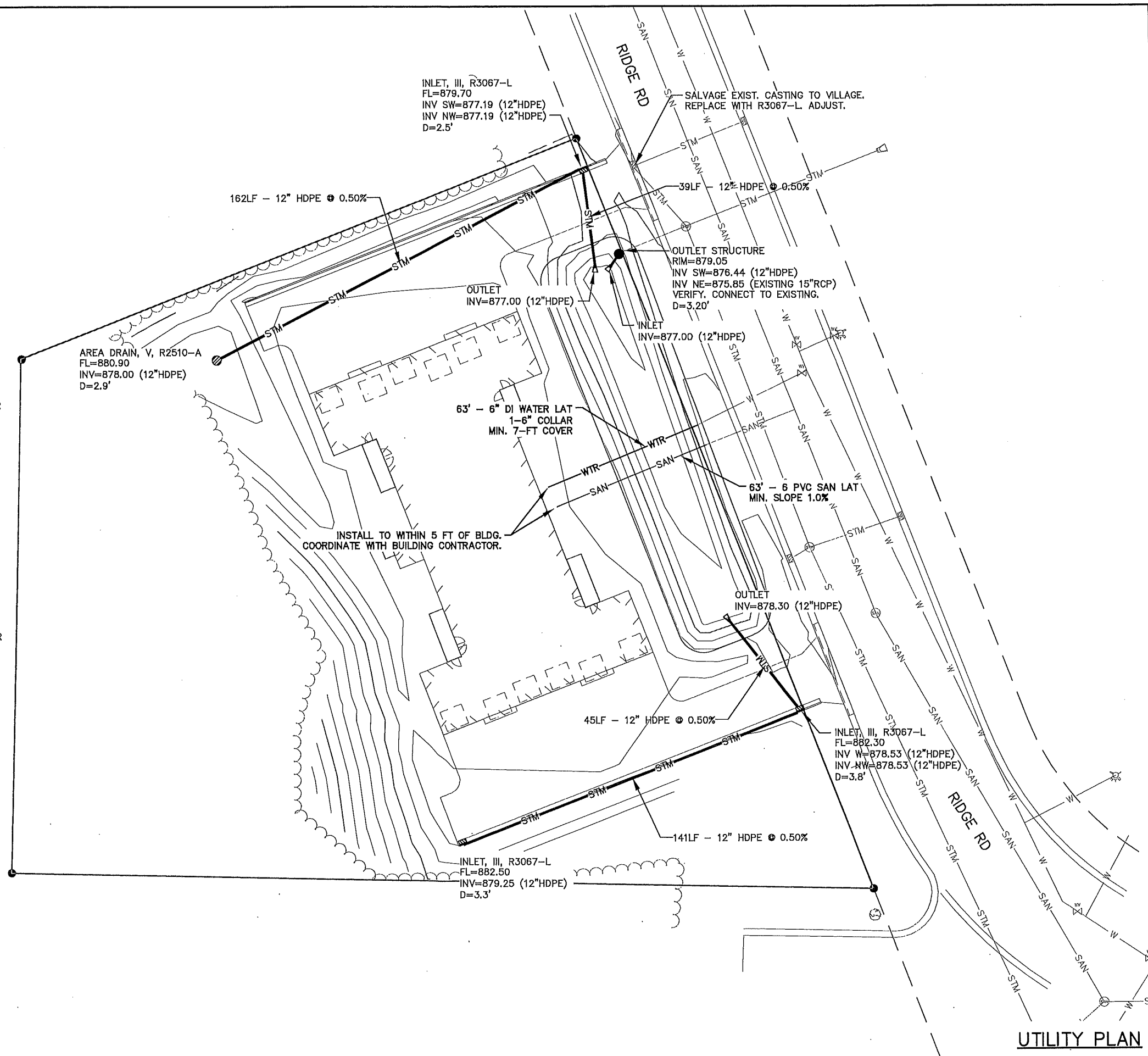
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12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
EROSION CONTROL PLAN

SHEET NO.
C103

NOTES:

- CONTRACTOR SHALL LOCATE ALL EXIST. UTILITIES IN & AROUND CONSTRUCTION AREA.
- CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES OF ALL EXIST. UTILITIES, LOCATIONS ARE APPROXIMATE.
- ALL PVC STORM SEWER PIPES SHALL BE SCH. 40.
- HDPE STORM SEWER PIPE SHALL BE DUAL-WALLED POLY-ETHYLENE PIPE W/ SMOOTH INTERIOR WALLS MEETING AASHTO REQ. TYPE S PIPE & M 294 & ASTM F 867 FOR HDPE PIPE.
- CONTRACTOR SHALL COORDINATE SEW. & WTR. CONNECTIONS WITH MUNICIPALITY.
- IF THE WATERMAIN OR WATER LATERAL PIPE CROSSING A SEWER PIPE IS BELOW THE SEWER PIPE, THERE SHALL BE AN 18" MIN. SEPARATION, IF THE WATER PIPE IS ABOVE THE SEWER PIPE, THERE SHALL BE A 12" MIN. SEPARATION.
- CONTRACTOR SHALL MAINTAIN A MIN. OF 8' COVER OVER TOP OF WATER LATERAL.
- WATER LATERAL SHALL BE TYPE K COPPER.
- INSTALL 12 GAUGE SOLID COPPER TRACER WIRE W/ PLASTIC COATING ON TOP OF ALL PLASTIC SEWER & WATER PIPES.
- TRACER WIRE SHALL BE ATTACHED TO PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
- SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
- TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
- CONTRACTOR SHALL VERIFY LOCATIONS & ELEVATIONS FOR ALL UTILITY CROSSINGS (EXIST. & PROP.) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ARCHITECT IMMEDIATELY.
- ALL ELECTRIC, TELEPHONE & GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECS. LOCATIONS SHALL BE COORDINATED W/ APPROPRIATE UTILITY CO.
- ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE & LOCAL REQUIREMENTS, WI DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTALS & STANDARD SPEC FOR SEWER & WATER CONST. IN WI LATEST EDITION INCLUDING ALL ADDENDUMS & REVISIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL & STATE PERMITS AND PERMITS FEES.
- SITE CONTRACTOR SHALL INSTALL SANITARY SEWER AND WATER LATERALS 5' FROM BUILDING FOUNDATION WALL. CONTRACTOR SHALL CONNECT TO LATERAL STUBS IF IN PLACE BY BUILDING PLUMBING CONTRACTOR.
- LOCATION AND INSTALLATION OF TELEPHONE, ELECTRIC & GAS SERVICES TO BE COORDINATED BETWEEN CONTRACTOR AND UTILITY COMPANIES.



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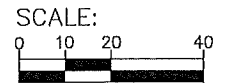
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VILLAGE OF OSCEOLA, WI
UTILITY PLAN

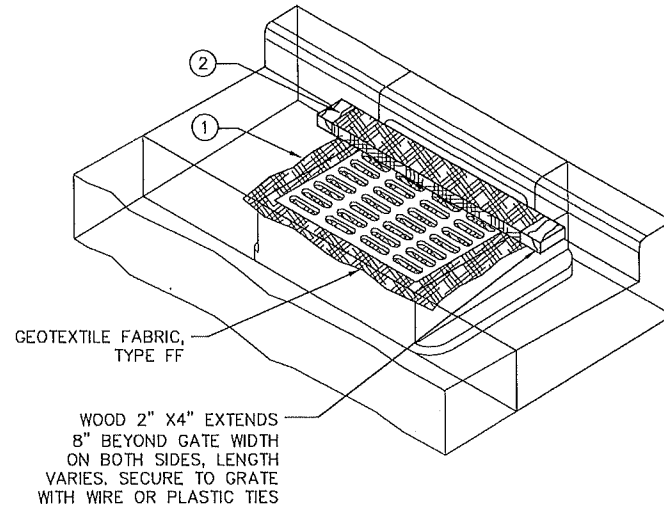
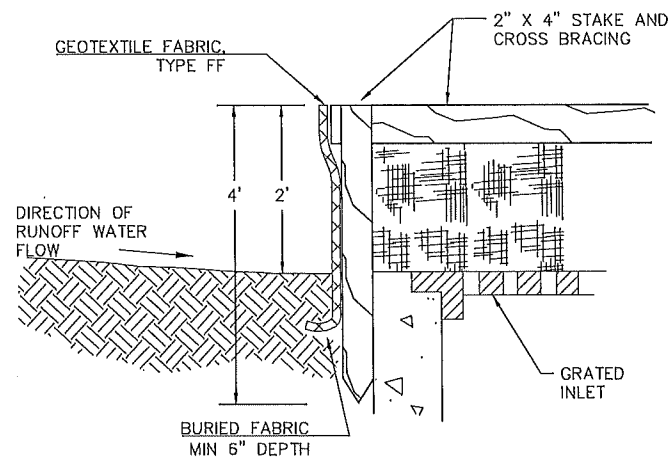
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UTILITY PLAN

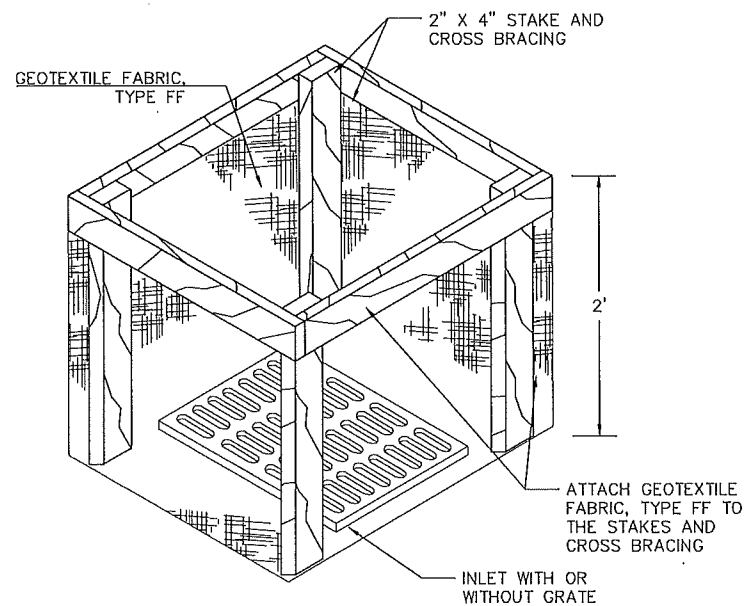


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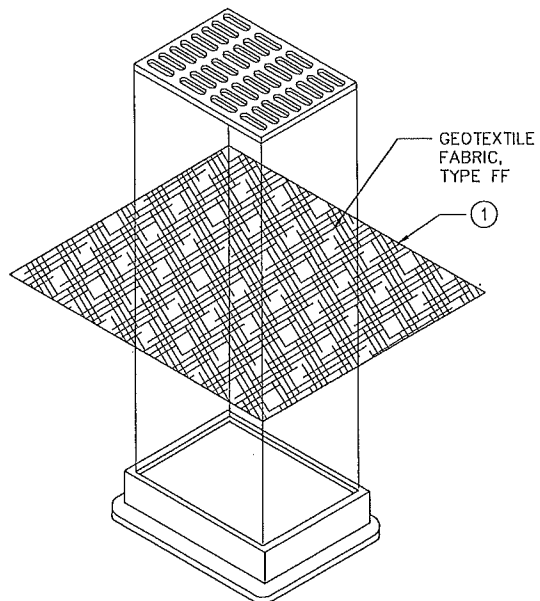
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INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES

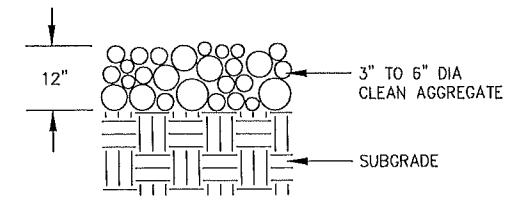
MANUFACTURED ALTERNATIVE APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

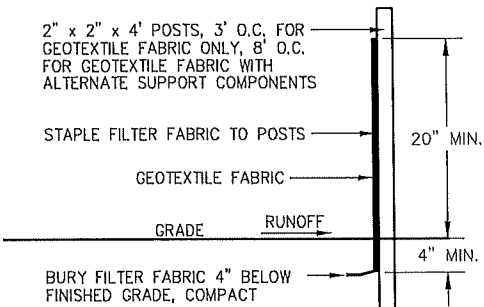
INSTALLATION NOTES

TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



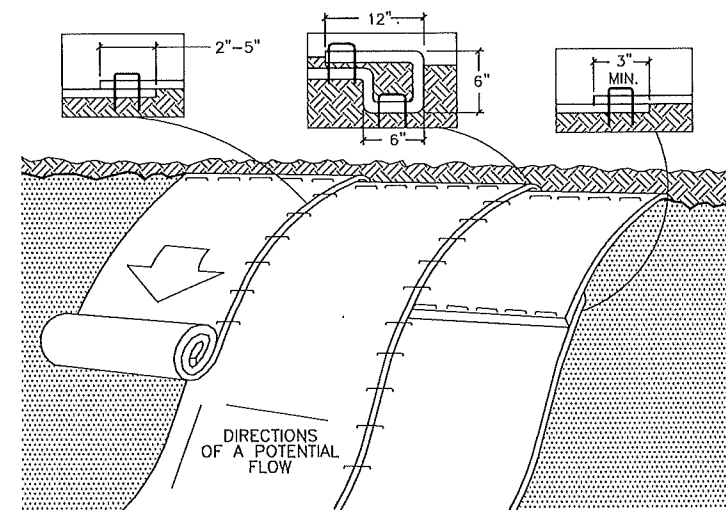
NOTES:
TRACKING PAD AREA TO BE 50' x 20' UNLESS OTHERWISE NOTED.
REMOVE AND REPLACE AGGREGATE WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING PAD DOES NOT FUNCTION

AGGREGATE TRACKING PAD
NO SCALE



SILT FENCE
NO SCALE

NOTE:
SILT FENCE SHALL BE SUPPLIED & INSTALLED AS PER THE WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION.



- * PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL MAT, INCLUDING GRADING, TOPSOIL, SEED & FERTILIZER.
- * BEGIN AT TOP OF SLOPE, BY ANCHORING MAT IN TRENCH, INSTALL STAPLES 12" APART, SEE DETAIL.
- * ROLL MAT DOWN SLOPE AS SHOWN. FASTEN MAT TO SOIL SURFACE W/ STAPLES. STAPLE PATTERN GUIDE BY MFR.
- * OVERLAP MAT AS PER MFRS. SPEC.
- * NORTH AMERICAN GREEN, USA 1-800-772-2040, www.nagreen.com.

EROSION MAT PLACEMENT
NO SCALE

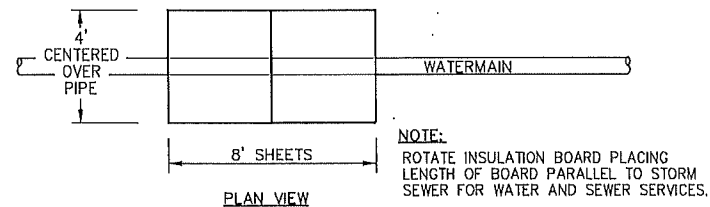
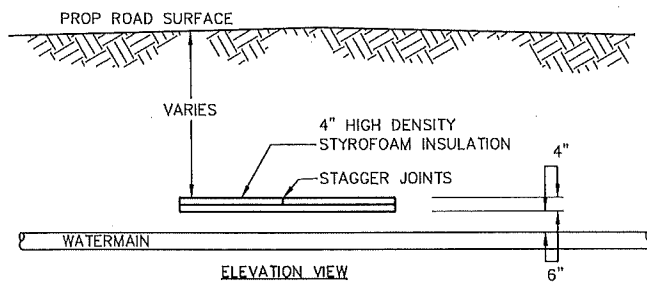
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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
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VILLAGE OF OSCEOLA, WI
CONSTRUCTION DETAILS

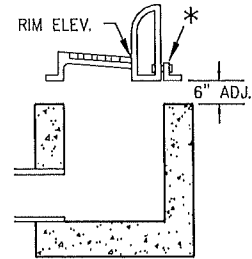
SHEET NO.
C105



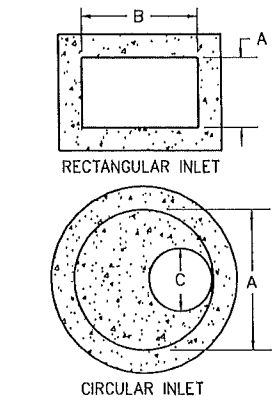
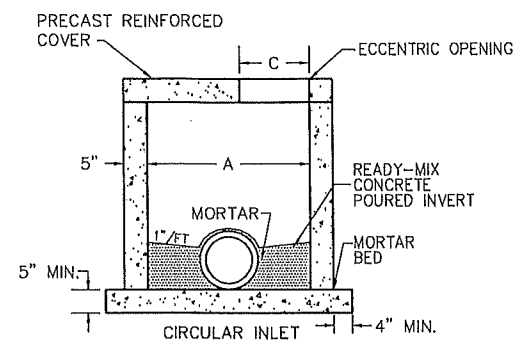
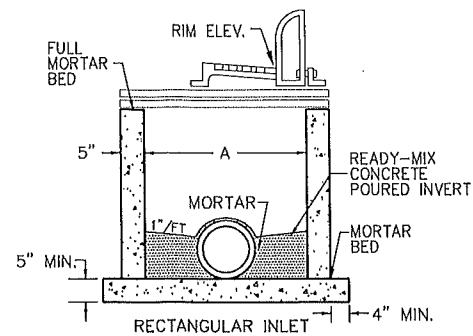
INSULATION, 4"
NO SCALE

NOTE:
ROTATE INSULATION BOARD PLACING LENGTH OF BOARD PARALLEL TO STORM SEWER FOR WATER AND SEWER SERVICES.

* INLET CASTING BOLT SLOTS SHALL BE COMPLETELY SEALED WITH WATERTIGHT SEAL.



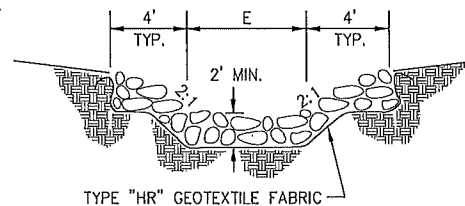
INLET CASTINGS
NO SCALE



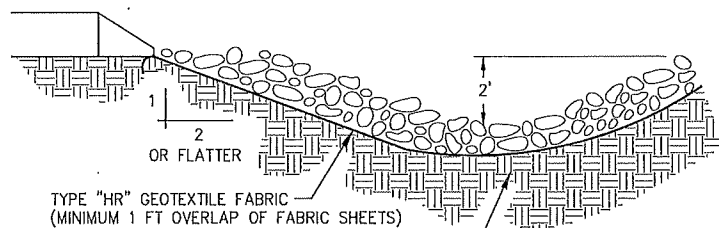
INLET TYPE	COVER OPENING		
	A	B	C
I	2'	2'	-
II	2'	2'-6"	-
III	2'	3'	-
IV	42" DIA.	42" DIA.	27" DIA.
V	27" DIA.	27" DIA.	-

NOTE: STEPS REQUIRED WHEN D > 4'

STORM INLET
NO SCALE

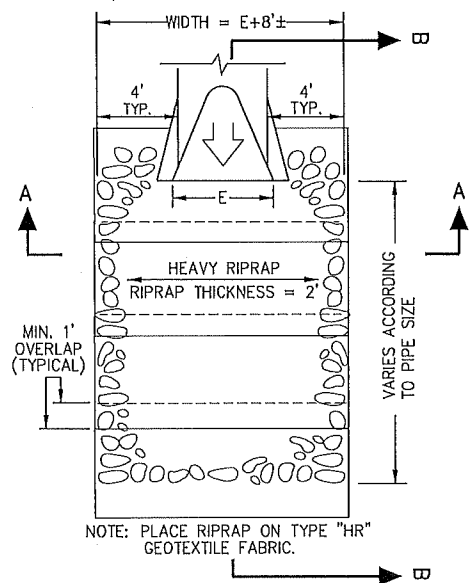


SECTION A-A

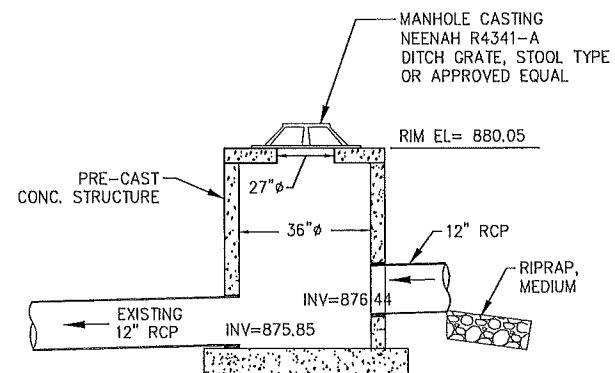


SECTION B-B

MINIMUM 6" THICK LAYER OF 2" MINIMUM DIAMETER DRAIN ROCK. LARGER STONE SHALL BE USED DEPENDENT UPON GRADIENT, SOIL TYPE, AND DESIGN FLOW.

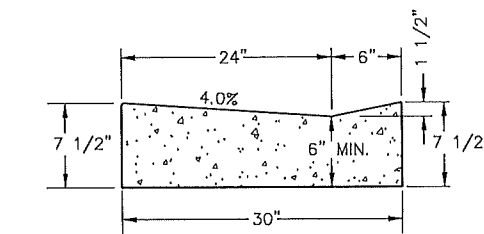
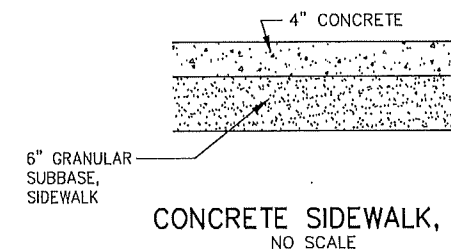
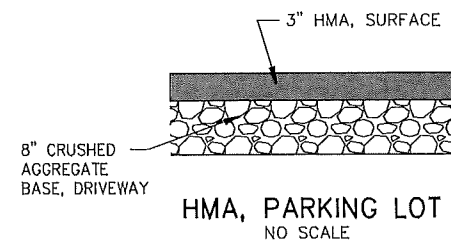


TYPICAL PLACEMENT OF RIPRAP AT CULVERT DISCHARGE
NO SCALE



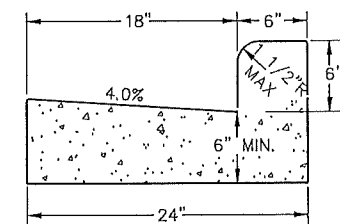
NOTES:
* STEPS NEEDED WHEN DEPTH IS GREATER THAN 4.0'
* INTAKE HOLES SHALL BE OFFSET FROM STEP LOCATIONS

OUTLET STRUCTURE
NO SCALE



NOTE:
THE BOTTOM OF CURB & GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE COURSE PROVIDED. A 6-IN MINIMUM GUTTER THICKNESS TO BE MAINTAINED.

DRIVEWAY CURB & GUTTER



NOTE:
THE BOTTOM OF CURB & GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE COURSE PROVIDED. A 6-IN MINIMUM GUTTER THICKNESS TO BE MAINTAINED.

CONCRETE CURB & GUTTER

JOB NO. C6945-0001
BOOK NO.
DRAWN BY KAT
CHECKED BY RPK
DATE AUG 2023
REVISIONS
REFERENCE FILE
DRAWING FILE 00base_6954001

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C & E WURZER CONSTRUCTION
12-UNIT APARTMENT BUILDING SITE
RIDGE RD
VILLAGE OF OSCEOLA, WI
CONSTRUCTION DETAILS

SHEET NO.

C106

CONSTRUCTION DETAILS