

# VILLAGE OF OSCEOLA PLAN COMMISSION MEETING

**Date:** Tuesday June 6th, 2023  
**Time:** 7:00 p.m.  
**Place:** Large Conference Room (Rm 205)  
310 Chieftain Street  
Osceola WI 54020

## PLAN COMMISSION AGENDA

1. Call the meeting to order
2. Approval of agenda
3. Approval of Minutes
  - a. May 2<sup>nd</sup> 2023
  - b. May 24<sup>th</sup> 2023
4. Appointment of Board Chair
5. Quality Polymers Site Plan Review – See Attachments
6. Discussion and possible action re:
  - a. **Public Hearing** relating to filling or grading more than 10,000 square feet of land pursuant to Village Code § 217-8E for the property located at 301 River Street in the Village.
  - b. **Public Hearing** relating to multi-family residential uses within mixed-use buildings and/or developments at 301 River Street in the Village pursuant to Village Ordinance 2023-04.
  - c. **Public Hearing**, relating to increasing the maximum structure height to up to 45 feet pursuant to Village Code § 217-7(4)(a) for the property located at 301 River Street in the Village.
7. Close of the Public Hearing portion of the meeting.
8. Possible recommendation to the Village Board on Public Hearing subject matter.
  - a. Staff Report in Attachment with Plans
9. Comp Plan Discussion
10. Public Input on Regular Agenda Discussion
11. Allow Sale of Land in Industrial Park
12. Future agenda items and updates
13. Adjourn

**NOTE:** It is possible that members of other governmental bodies of the municipality may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Village Hall at (715) 294-3498.

**PLAN COMMISSION MEETING PROCEEDINGS**  
**May 2nd, 2023**

The Plan Commission of the Village of Osceola met on May 2nd, 2023 to hold a regular monthly board member Norenberg called the meeting to order at 7:00 p.m.

Present: Deb Rose, Kim O'Connell, Bill Chantelois V, Dennis Tomfohrde, Tyler Norenberg  
Excused: Deb Rose, Rob Bullard  
Staff present: Devin Swanberg  
Others present: Peter Paidar, Nealy Yakes, Sandy Caravelli, Thomas Caravelli, Pat Brown, Jamie Muscha

Motion to approve the agenda was made by O'Connell, second by Chantelois motion passed 4-0

Motion to approve the minutes of the March and April commission meeting was made by Tomfohrde and seconded by O'Connell motion passed 4-0

Mike Viebrock presented the possibility of developing Meadowlark lane with the phase plan from the preliminary plat from 1996. He wanted to get this before the board so they are aware of the issues and to inform them of how the development would be laid out. Administrator Swanberg mentioned that currently they are working with the FAA and the airport to see if Airport Road is Shared or for Airport business only. There were discussions on the utilities and the overall layout of the plan. No action was requested at this time as more time is needed for development and planning.

Administrator Swanberg brought forward a lot to potentially sell for development around the southeast side of the airport. Chantelois made a motion to pursue to sell if it is allowable motion seconded by Tomfohrde motion passed 4-0

**Future agenda items and updates – Discussion on the Comp Plan at the June Meeting and Baird is coming to the Regular Village Board meeting May 16<sup>th</sup> to do a presentation on TIF/TID to teach the board and community how it works and why it is used.**

Meeting Adjourned at 7:48

Respectfully submitted by  
Devin Swanberg  
Village Administrator

## **PLAN COMMISSION MEETING PROCEEDINGS**

### **May 24th, 2023**

The Plan Commission of the Village of Osceola met on May 24th, 2023 to hold a special board meeting member Rose called the meeting to order at 6:02 p.m.

Present: Deb Rose, Kim O'Connell, Dennis Tomfohrde, Tyler Norenberg, Bruce Gilliland, Deb Rose, Rob Bullard

Excused: Bill Chantelois V

Staff present: Devin Swanberg, Angela Poppenhagen

Others present: Peter Paidar, Nealy Yakes, Sandy Caravelli, Thomas Caravelli, Pat Brown, Lisa Curry, Holly Walsh, Betsy Kremser, Hale, Arvid Maki, Brad Lutz, Sean Bohan, Eliane Kopischke, Kent Jefferson, Dan Guenther, John Harriss, Dan Hebert

Motion to approve the agenda was made by Bullard, second by Gilliland motion passed 6-0

Sean Bohan from AEC presented the Osceola Bluffs engineer plan to the planning committee. The project site is 4.6 acres. Currently the impervious surface is 96,000 sq ft, the new plan will decrease that to 64,000 sq ft. The site plan meets all required setbacks from NR 118 and stay out of the 40-foot setback that the current structure is over. The storm water will be managed by 3 storm ponds where there is currently impervious surface. Three of these are bioretention and the third is dry pond. This will decrease peak rates 60% to the west and 80% to the south. The ponds clean water and follow all state and village ordinances. Using these measures, it will lower the peak rates create less erosion and better water quality.

John Harriss from HA Architecture presented the site plan and the narrative for the Osceola Bluff Development with Dan Hebert of Gaughan. They presented that they would need three conditional use permits, one for height, one for disturbing 10,000 sq ft and one for first floor residential in the B1 district. They have achieved 1.7 parking spaces for the building on the site and will not need contracted parking. The site has 112 underground parking spaces with a dog washing station and bike storage. They will work with SHPO while excavating to ensure proper protocol and being followed if anything of significance is found while excavating. They are using a flat roof design to maximize the units and for better water control on the site. When asked why they are using 9-foot ceilings not 8 it is now the industry standard.

City Engineer confirmed that the height of the building is 44 feet 8 inches.

The colors were chosen to be visually inconspicuous with the bluff and trees they called it stealth design. They have no desire to cut trees to keep the natural appeal. They met with the fire chief to discuss and address any issues they might have. The lighting on the site will not emit light pollution into the skies and be localized and down. When asked why they site and not somewhere else the response was because of the uniqueness this site provides and the proximity to downtown. Norenberg also asked why, where when there are conflicts with code and comp plan. Response was the village is desperate for good sustainable housing.

The meeting was adjourned 7:25 pm

Respectfully submitted by  
Devin Swanberg  
Village Administrator

# PROPOSED PROJECT: QUALITY POLYMERS, INC. OSCEOLA, WI

SHEET #	SHEET TITLE
G100	COVER SHEET
G101	GENERAL NOTES
A101	FOUNDATION PLAN
A102	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A401	DETAILS

## CONSULTANTS

**GENERAL CONTRACTOR:**  
NORTHWEST BUILDERS INC.  
2063 17 1/2 AVE  
RICE LAKE, WI, 54868  
PH: (715) 234-7066 FX: (715) 234-9378  
CONTACT: JORDAN HEINECKE - PROJECT MANAGER

**BUILDING INSPECTOR:**  
WEST WISCONSIN INSPECTION AGENCY  
PH: (715) 556-3136  
CONTACT: BEN CAMPBELL

**STRUCTURAL ENGINEERING:**  
RICE LAKE ENGINEERING  
15 E. EAU CLAIRE STREET  
RICE LAKE, WI, 54868  
PH: (715) 296-8754  
CONTACT: BOB SEXTON

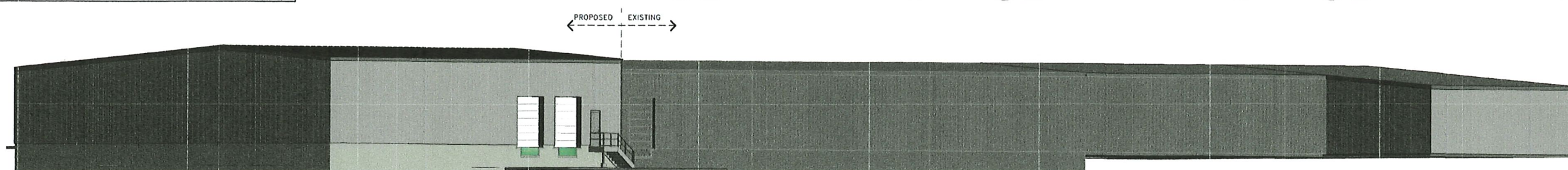
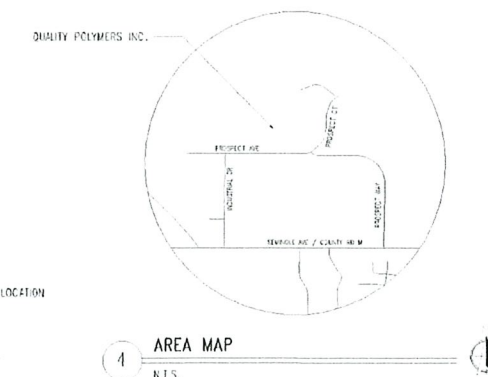
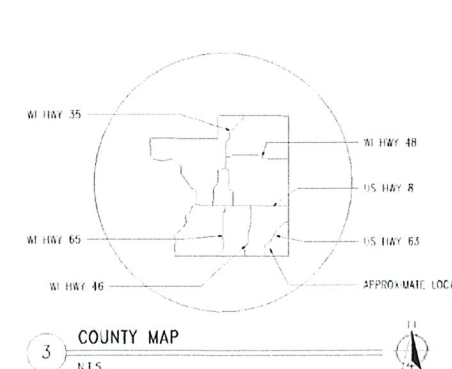
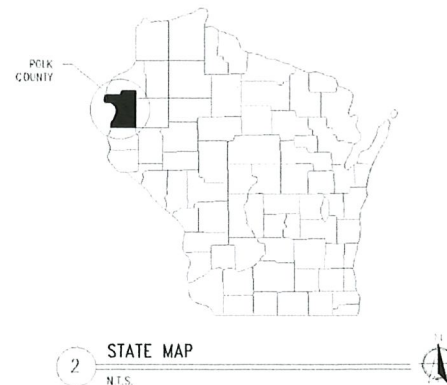
**U-Facts™ Assembly Snapshot**

ASHRAE 2013 and IECC 2015  
Standing Seam Roof System on Z-Purlin with thermal spacer  
Liner System with R11 + R25 blanket insulation

U-Factor: 0.031

eShadowwall™ Wall System  
R-25 fiberglass insulation

U-Factor: 0.048



1 RENDERING

PROPERTY OF NORTHWEST BUILDERS INC.

PRELIMINARY NOT FOR CONSTRUCTION

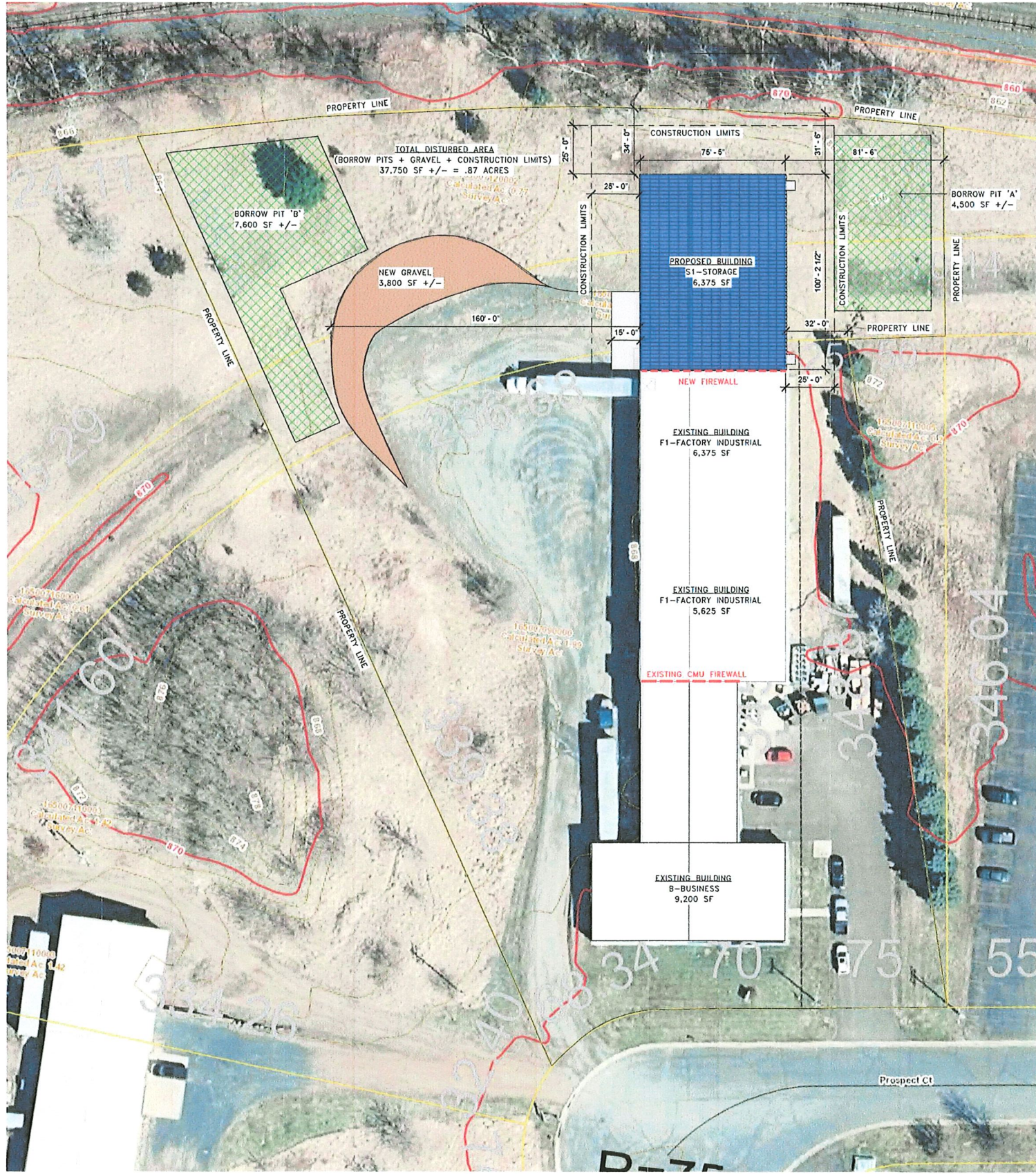
**Rice Lake ENGINEERING**  
GREEN EAST EAU CLAIRE ST. • RICE LAKE, WI 54885  
PHONE: (715) 234-3054

PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**

814 PROSPECT CT. OSCEOLA, WI

9 MAY 23
PRELIMINARY
BAS
23-043
COVER SHEET
G100





① SITE PLAN  
1" = 30'-0"

PROPERTY OF NORTHEAST BUILDERS

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**

9 MAY 23  
PRELIMINARY  
BAS  
23-043

▲  
▲  
▲  
▲  
SITE PLAN

C100

**Rice Lake**  
**ENGINEERING**

7700 EAST EAU CLAIRE ST. - RICE LAKE, WI 54888  
PHONE: (715) 254-9554

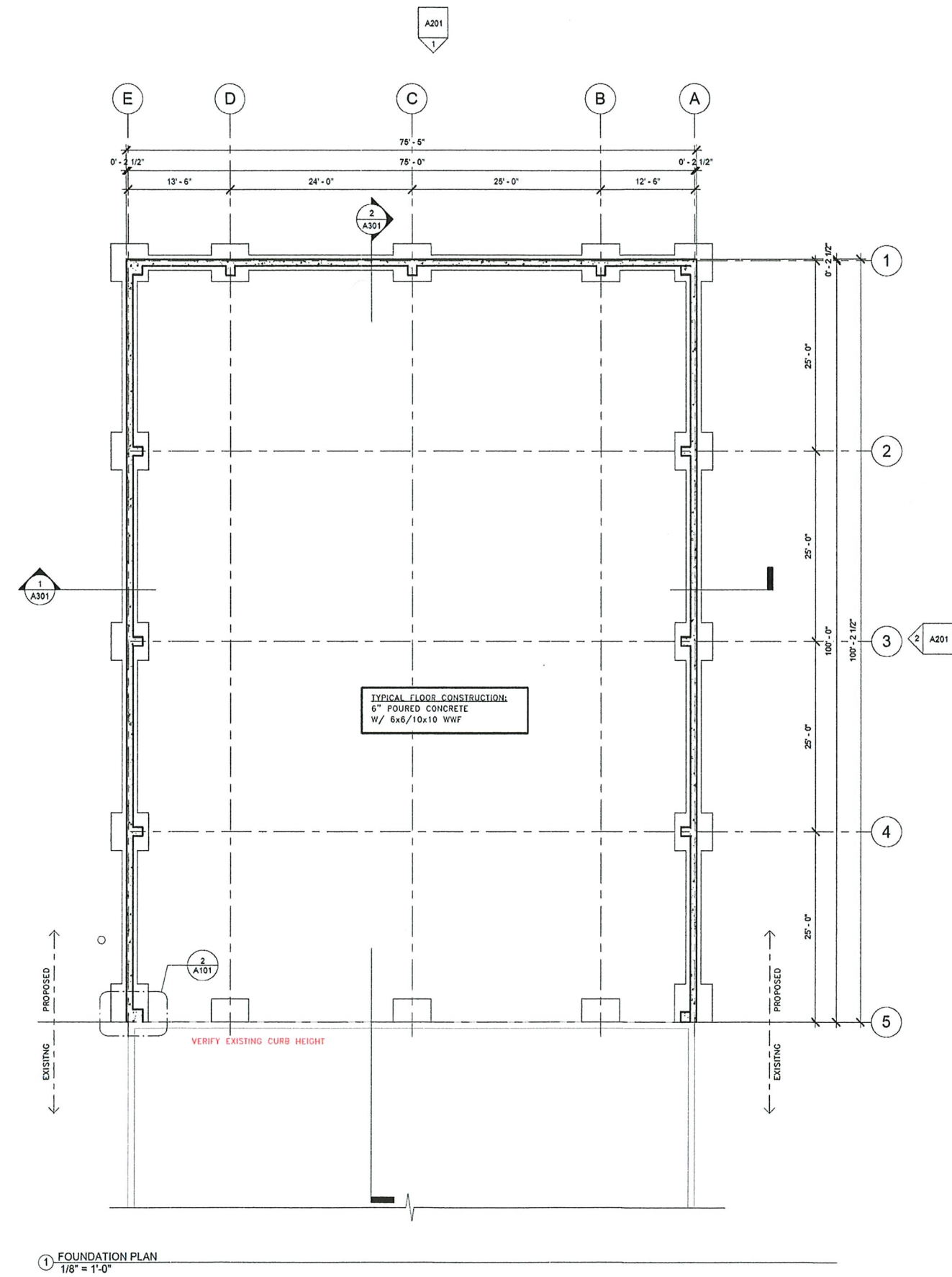
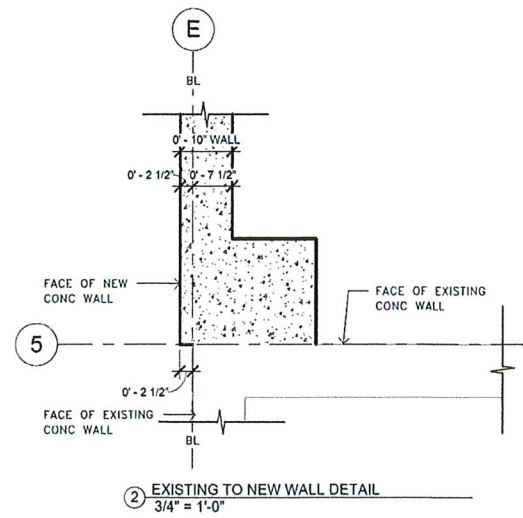
**NWB**

NORTHWEST BUILDERS, INC.  
2063 17 1/2 AVENUE  
RICE LAKE, WI 54888  
P: (715) 234-7066  
WWW.NWBUILDERSINC.COM



FOOTING SCHEDULE						
MARK	# OF FTGS	T.O. FTG ELEV.	FTG SIZE (LxWxD)	FTG REINF.	DOWELS	NOTES
F1	STRIP	92'-0"	STRIPx24"x12"	(2) #4 BAR CONTIN	#4HOOKBAR @ 18" O.C.	--
F2	3	99'-6"	__x__x12"			--

PIER SCHEDULE							
MARK	# OF PIERS	T.O. PIER ELEV.	PIER SIZE (WxL)	VERTICALS	TIES	T.O. FTG ELEV.	DOWELS
P1		100'-6"		(4) #5 BAR	#3 HOOPS @ 12" O.C.	92'-0"	

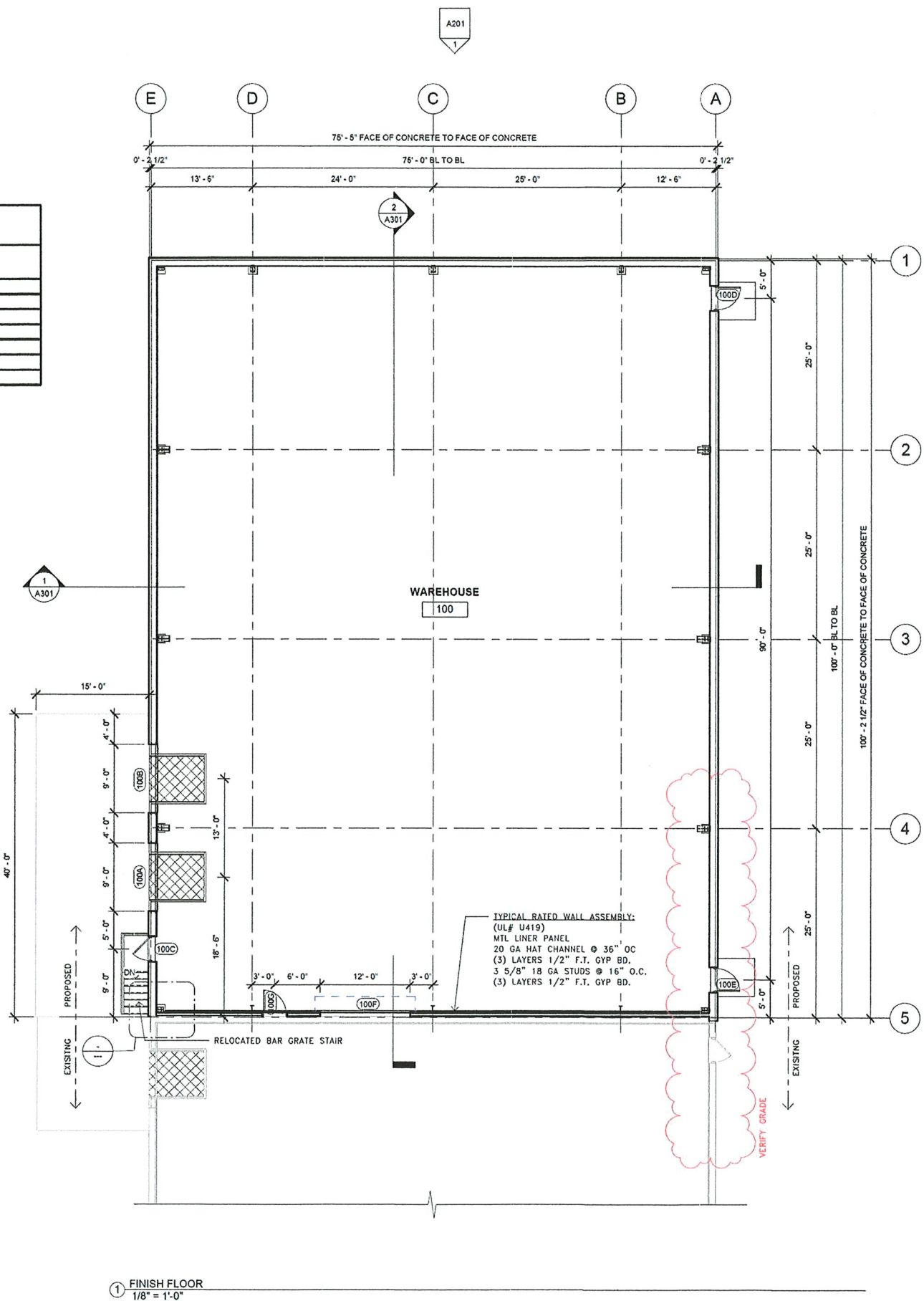


PROPERTY OF NORTHEAST BUILDERS

PRELIMINARY NOT FOR CONSTRUCTION

NORTHWEST BUILDERS, INC. 2063 17 1/2 AVENUE RICE LAKE, WI 54888 P: (715) 234-7066 WWW.NWBUILDERSINC.COM
RICE LAKE ENGINEERING 1000 EAST EAU CLAIRE ST. - RICE LAKE, WI 54888 PHONE: (715) 234-8624
PROPOSED PROJECT: <b>QUALITY POLYMERS, INC.</b> 814 PROSPECT CT. OSCEOLA, WI
9 MAY 23 PRELIMINARY BAS 23-043
FOUNDATION PLAN
A101

DOOR SCHEDULE												
DOOR #	DOOR SIZE			DOOR MTL	DOOR TYPE	FRAME MTL	FRAME TYPE	DETAILS			HWGR GROUP	NOTES
	WTH	HGT	THK					HEAD	JAMB	SILL		
100A	9'	10'	-	-	OHD	-	-	-	-	-	-	-
100B	9'	10'	-	-	OHD	-	-	-	-	-	-	-
100C	3'	7'	-	HM	-	HM	-	-	-	-	-	RELOCATED EXISTING DOOR
100D	3'	7'	-	HM	-	HM	-	-	-	-	-	-
100E	3'	7'	-	HM	-	HM	-	-	-	-	-	-
100F	12'	12'	-	-	-	-	-	-	-	-	-	3HR RATED SHUTTER
100G	3'	7'	-	HM	-	HM	-	-	-	-	-	3HR RATED



TYPICAL RATED WALL ASSEMBLY:  
 (UL# U419)  
 MTL LINER PANEL  
 20 GA HAT CHANNEL @ 36" O.C.  
 (3) LAYERS 1/2" F.T. GYP BD.  
 3 5/8" 18 GA STUDS @ 16" O.C.  
 (3) LAYERS 1/2" F.T. GYP BD.

PROPERTY OF NORTHWEST BUILDERS

PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**

9 MAY 23  
 PRELIMINARY  
 BAS  
 23-043

FLOOR PLAN

A102

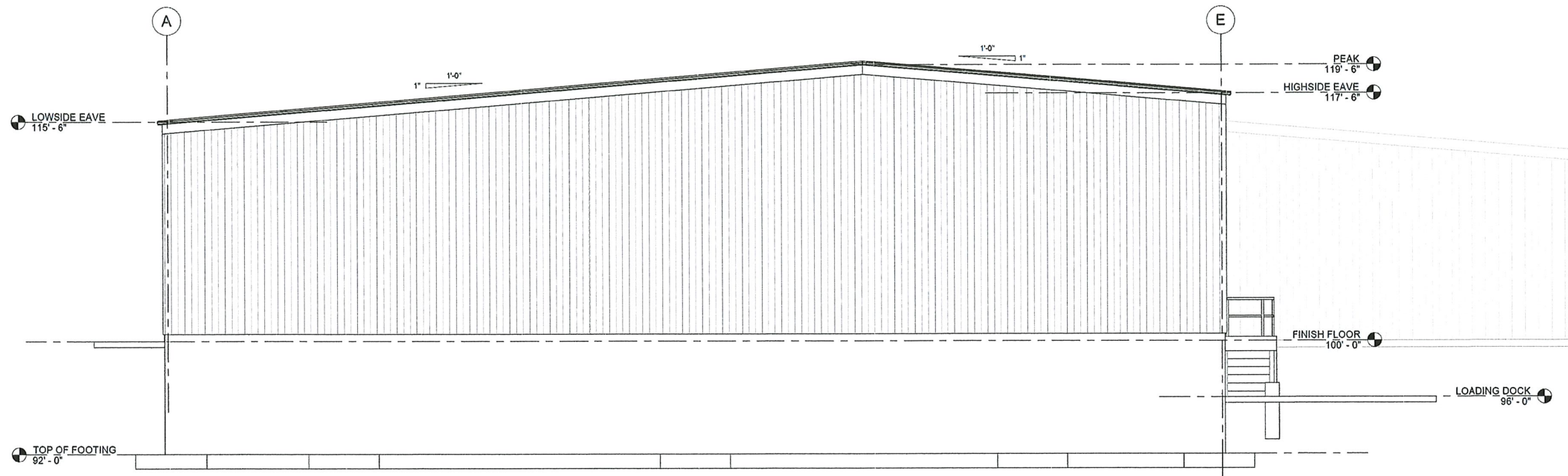
**Rice Lake**  
**ENGINEERING**  
 100 WEST EAST AUN CLAUDE ST. - RICE LAKE, WI 54888  
 PHONE: (715) 254-9654

**NWB**  
 NORTHWEST BUILDERS INC.  
 2063 17 1/2 AVENUE  
 RICE LAKE, WI 54888  
 P: (715) 234-7066  
 WWW.NWBUILDERSINC.COM

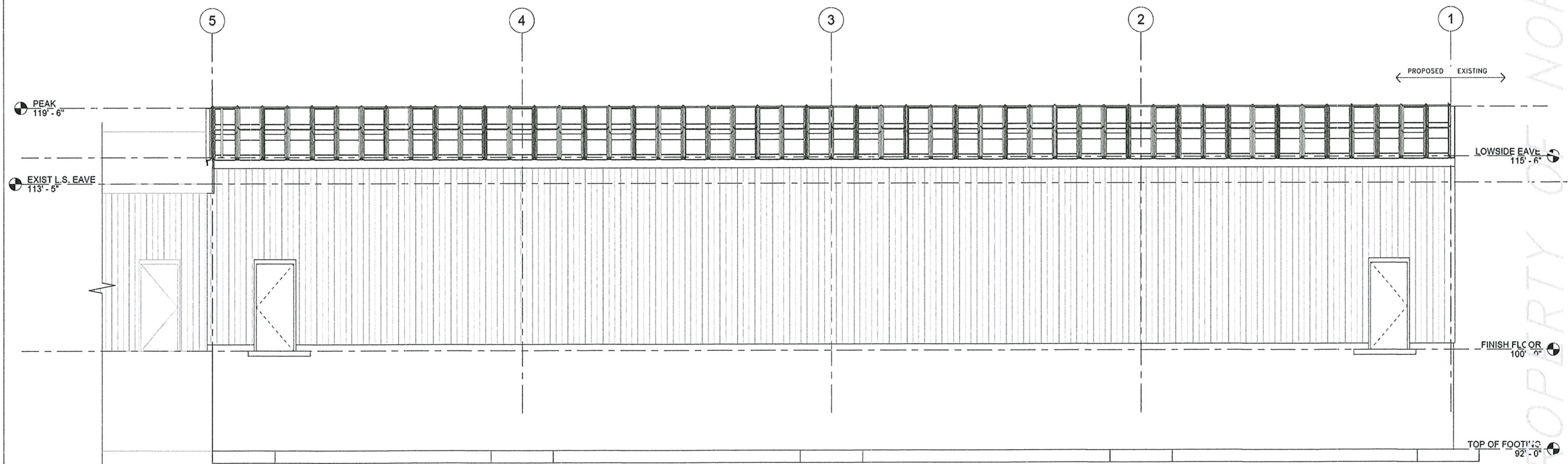


1 FINISH FLOOR  
 1/8" = 1'-0"





① NORTH ELEVATION  
1/4" = 1'-0"



② EAST ELEVATION  
1/4" = 1'-0"

PROPERTY OF NORTHEAST BUILDERS

PRELIMINARY NOT FOR CONSTRUCTION



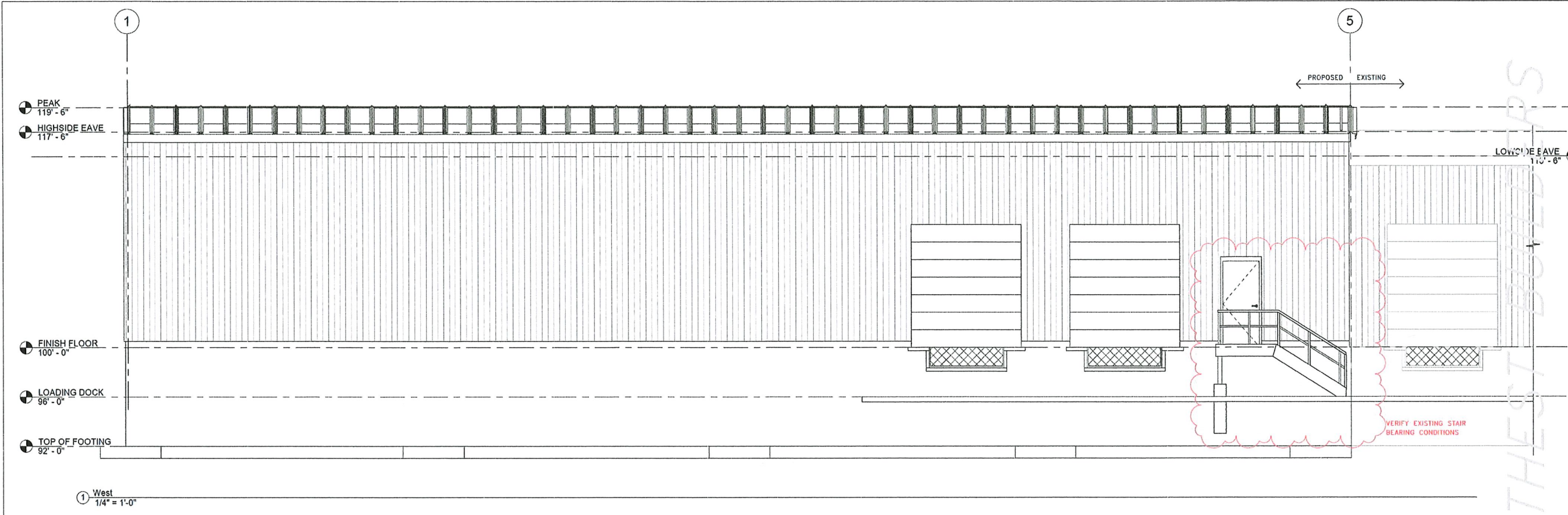
NORTHWEST BUILDERS INC.  
2063 17 1/2 AVENUE  
RICE LAKE, WI 54868  
P: (715) 234-7066  
WWW.NWBUILDERSINC.COM



PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**  
814 PROSPECT CT., OSCEOLA, WI

9 MAY 23
PRELIMINARY
BAS
23-043
▲
▲
▲
EXTERIOR ELEVATIONS
A201





NORTHWEST BUILDERS, INC.  
2063 17 1/2 AVENUE  
RICE LAKE, WI 54868  
P. (715) 234-7066  
WWW.NWBUILDERSINC.COM

*Rice Lake*  
**ENGINEERING**  
FIFTEEN EAST EAU CLAIRE ST. • RICE LAKE, WI 54868  
PHONE: (715) 234-9504

PROPERTY OF NORTHWEST BUILDERS

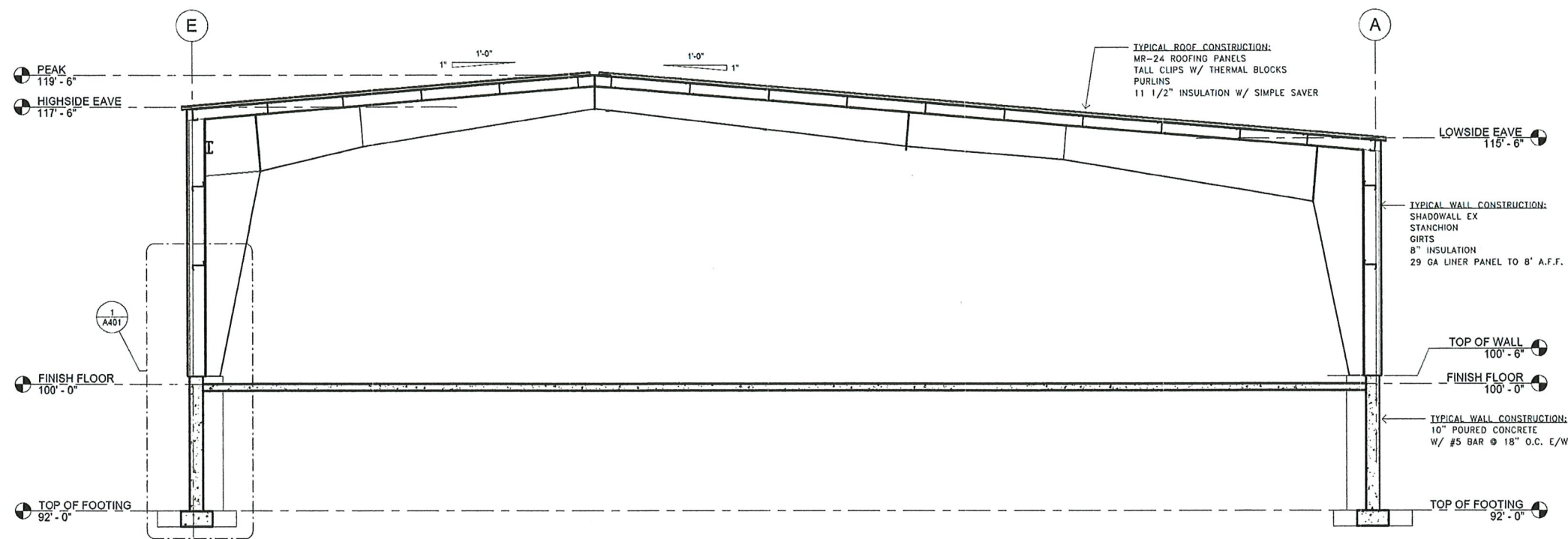
PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**  
814 PROSPECT CT. OSCEOLA, WI

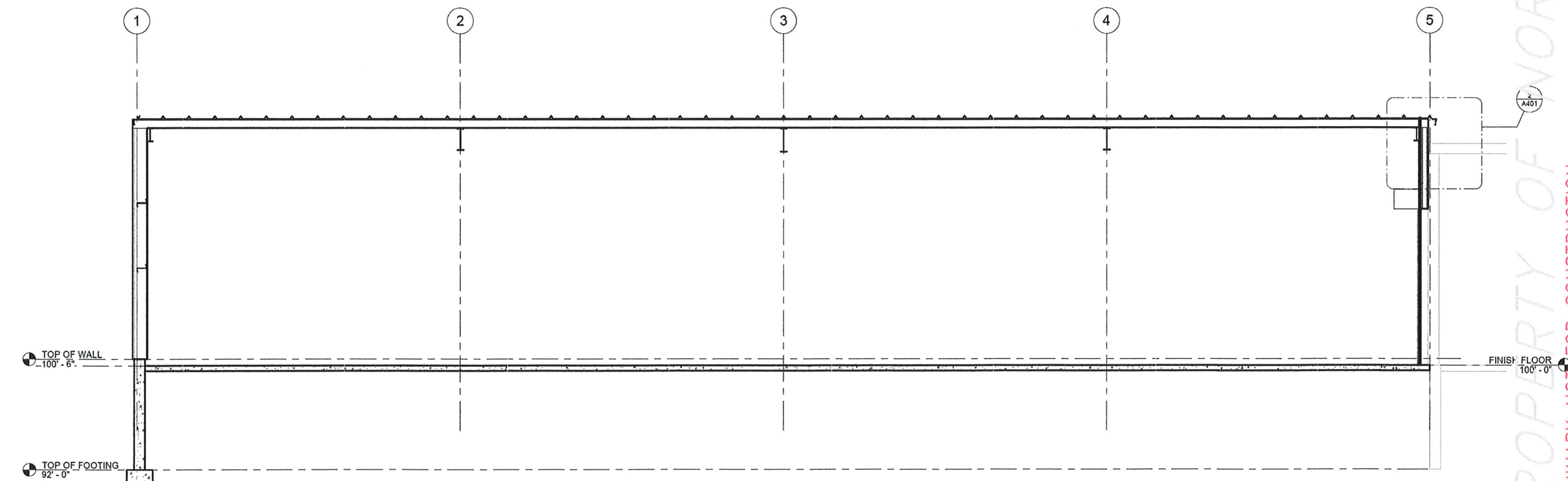
9 MAY 23  
PRELIMINARY  
BAS  
23-043

EXTERIOR ELEVATIONS  
A202





① BUILDING SECTION - A  
1/4" = 1'-0"



② BUILDING SECTION - B  
1/4" = 1'-0"

PROPERTY OF NORTHEAST BUILDERS

PRELIMINARY NOT FOR CONSTRUCTION

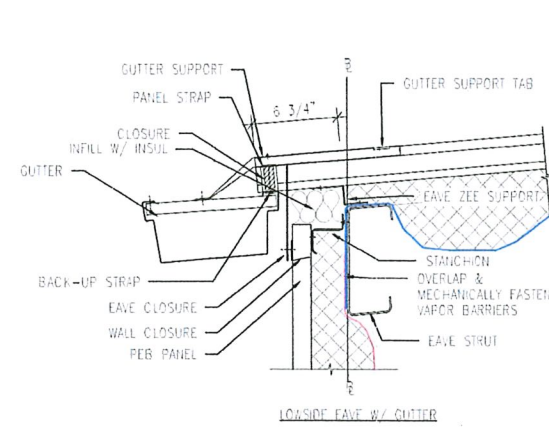


NORTHEAST BUILDERS, INC.  
2063 17 1/2 AVENUE  
RICE LAKE, WI 54868  
P. (715) 234-7066  
WWW.NWBUILDERSINC.COM

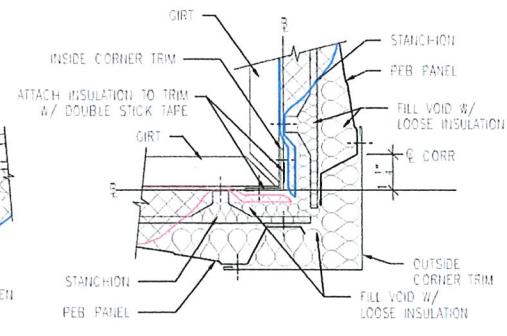


PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**  
814 PROSPECT CT. OSCEOLA, WI

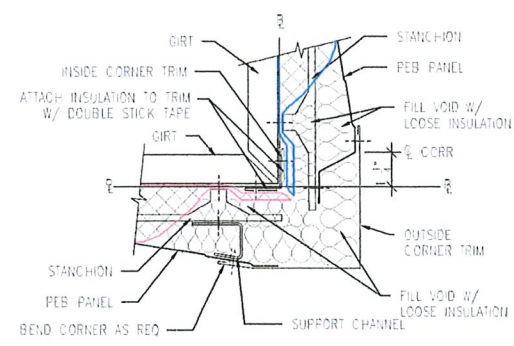
9 MAY 23
PRELIMINARY
BAS
23-043
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BUILDING SECTIONS
A301



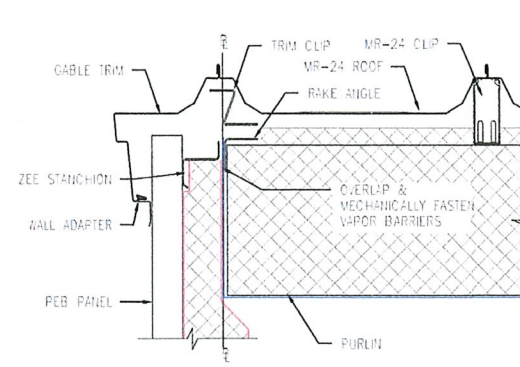
LOOSIDE EAVE W/ GUTTER



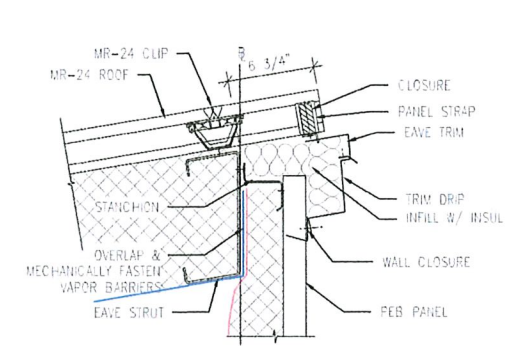
OUTSIDE CORNER - ON MOD



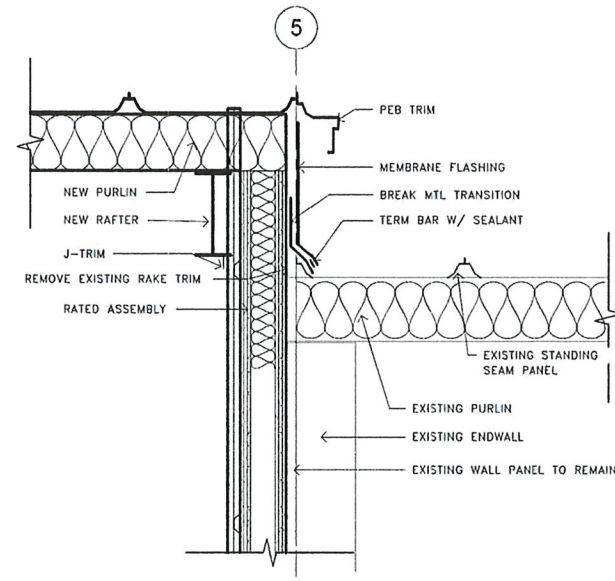
OUTSIDE CORNER - OFF MOD



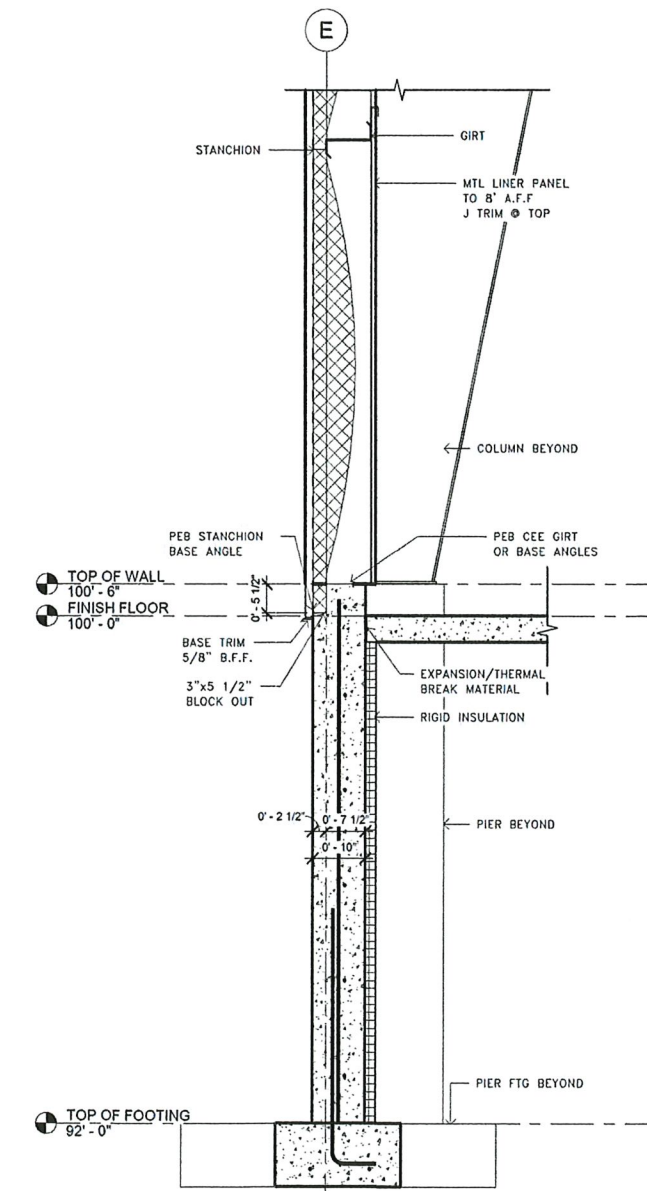
BACKSIDE EAVE



INSIDE EAVE



ROOF TRANSITION DETAIL  
1" = 1'-0"



TYPICAL WALL DETAIL  
3/4" = 1'-0"



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PROPOSED PROJECT:  
**QUALITY POLYMERS, INC.**

814 PROSPECT CT., OSCEOLA, WI

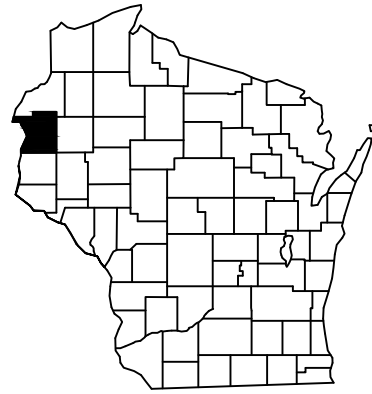
9 MAY 23  
PRELIMINARY  
BAS  
23-043

DETAILS

A401



POLK COUNTY



VICINITY MAP



Know what's below.  
Call before you dig.

PROJECT LOCATION

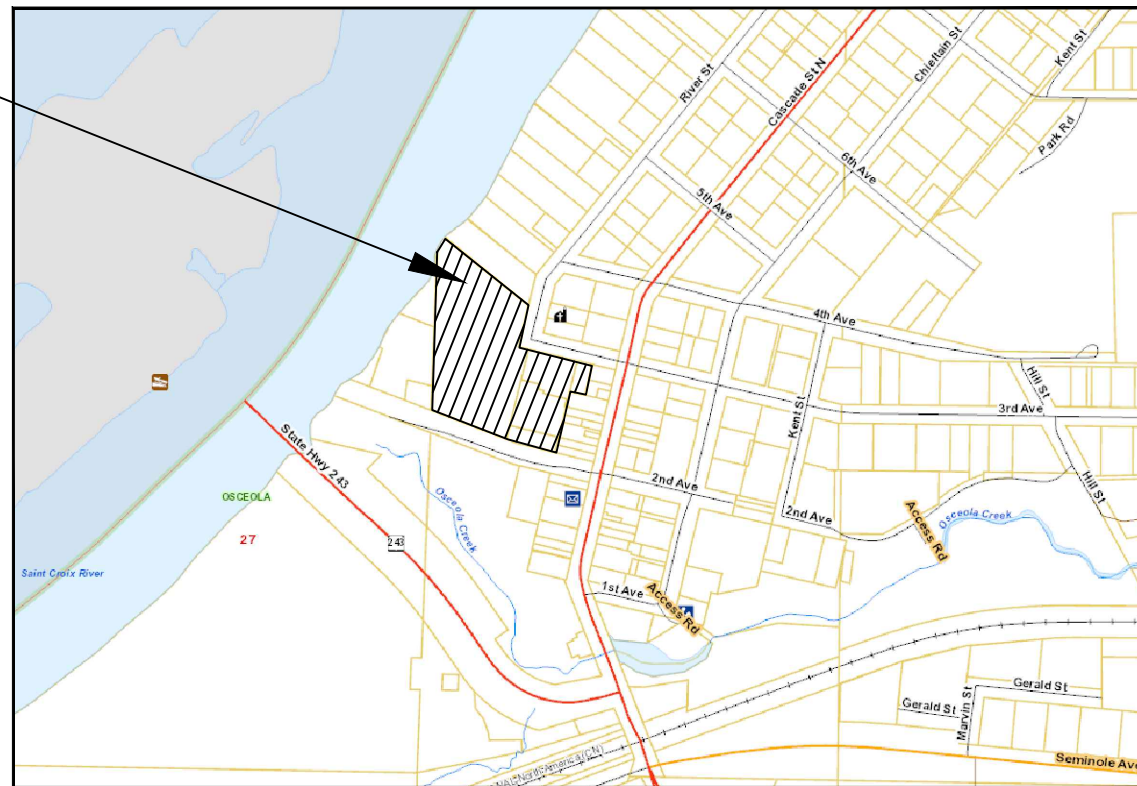
# OSCEOLA BLUFF APARTMENTS

## OSCEOLA VENTURES, LLC

### 301 RIVER STREET

### OSCEOLA, WI

CONTACTS	
VILLAGE ADMINISTRATOR	DEVIN SWANBERG 715.294.3498
PUBLIC WORKS COORDINATOR	TODD WATERS 715.294.3407
WATER	UTILITIES COORDINATOR – RICK CARUSO 715.294.2233
SANITARY	UTILITIES COORDINATOR – RICK CARUSO 715.294.2233
ELECTRIC	XCEL ENERGY POLK–BURNETT ELECTRIC COMPANY 800.895.4999 800.421.0283
TELEPHONE	CENTURYLINK 800.201.4099
CABLE	LAKELAND COMMUNICATIONS 715.825.2171
GAS	WE ENERGIES 800.242.9137
FIRE DEPT.	FIRE CHIEF – PAUL ELFSTROM 715.294.3440



LOCATION MAP

**ABBREVIATIONS:**  
 BC=BACK OF CURB  
 BLK=BLOCK NUMBER  
 BOT=BOTTOM (ELEV)  
 CL=CENTERLINE  
 CS=CURB STOP  
 ELEV=ELEVATION  
 EOP=EDGE OF PAVEMENT  
 EX=EXISTING  
 FES=FLARED END SECTION  
 FF=FINISHED FLOOR (ELEV)  
 FL=FLOWLINE  
 GF=GARAGE FLOOR (ELEV)  
 GLG=GROUND LINE GROOVE  
 HWL=HIGH WATER LEVEL  
 INV=INVERT  
 LF=LINEAR FEET  
 LO=LOOKOUT STYLE HOME  
 LT=LEFT  
 MIN=MINIMUM  
 NWL=NORMAL WATER LEVEL  
 PC=POINT OF CURVE  
 PRC=CURVE REVERSAL POINT  
 PT=POINT OF TANGENCY  
 RAD=RADIUS  
 RT=RIGHT  
 R/W=RIGHT OF WAY  
 SAN=SANITARY SEWER  
 SP=SPOT ELEVATION  
 STA=STATION  
 STM=STORM SEWER  
 TC=TOP OF CURB  
 TYP=TYPICAL  
 W=WATER FITTINGS  
 WAT=WATER  
 WM=WATERMAIN  
 WO=WALKOUT STYLE HOME

EXISTING	PROPOSED	LEGEND
		---BENCHMARK
		---CONTROL POINT
		---SIGN
		---CURB STOP
		---WELL
		---HYDRANT
		---GATE VALVE
		---CURB INLET
		---AREA DRAIN
		---SAN MH
		---STORM MH
		---SAN CLEANOUT
		---GAS MANHOLE
		---LIGHT POLE
		---UTILITY POLE
		---GUY WIRE
		---GUY POLE
		---PULL BOX
		---ELEC PED
		---CABLE PED
		---MAILBOX
		---TELE PED
		---IRON PIPE
		---ROW POST
		---REBAR
		---WATER MAIN
		---SANITARY SEWER
		---STORM SEWER
		---OVERHEAD UTILITY
		---TELEPHONE LINE
		---GAS LINE
		---ELECTRIC LINE
		---CABLE TV LINE
		---TREELINE
		---EXISTING TREES
		---MARSH
		---FENCE LINE
		---WOVEN WIRE FENCE
		---SILT FENCE
		---RETAINING WALL
		---CONTOURS MAJOR
		---CONTOURS MINOR

**PROJECT DEVELOPER/ CLIENT:**  
 OSCEOLA VENTURES, LLC  
 ATTN: DAN HEBERT  
 56 EAST BROADWAY, SUITE 200  
 FOREST LAKE, MN 55025  
 PHONE: 651.255.5558  
 EMAIL: danhebert@gaughancompanies.com

**PROJECT ARCHITECT:**  
 HARRISS ASSOCIATES, LLC  
 ATTN: JOHN HARRISS AIA LEED-AP  
 2836 44TH AVE SOUTH  
 MINNEAPOLIS, MN 55406  
 PHONE: 612.940.6427  
 EMAIL: jharris@harrisarchitects.com

**PROJECT ENGINEER:**  
 ADVANCED ENGINEERING CONCEPTS  
 ATTN: SEAN BOHAN, P.E.  
 1360 INTERNATIONAL DRIVE  
 EAU CLAIRE, WI 54701  
 PHONE: 715.552.0330  
 EMAIL: sbohan@aec.engineering

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
VILLAGE OF OSCEOLA SITE PLAN APPROVAL		
ST. CROIX RIVER DISTRICT		
WDNR: WRAPP		
DSPTS: PLUMBING PLAN REVIEW		

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	GRADING PLAN
5	EROSION CONTROL PLAN
6	UTILITY PLAN
7-8	DETAILS

AEC PROJECT #: 21136 PLANS DATED: APRIL 2023



ADVANCED ENGINEERING CONCEPTS  
 1360 INTERNATIONAL DR.  
 EAU CLAIRE, WI 54701  
 PH 715-552-0330  
 INFO@AEC.ENGINEERING  
 COPYRIGHT 2023, AEC LLC

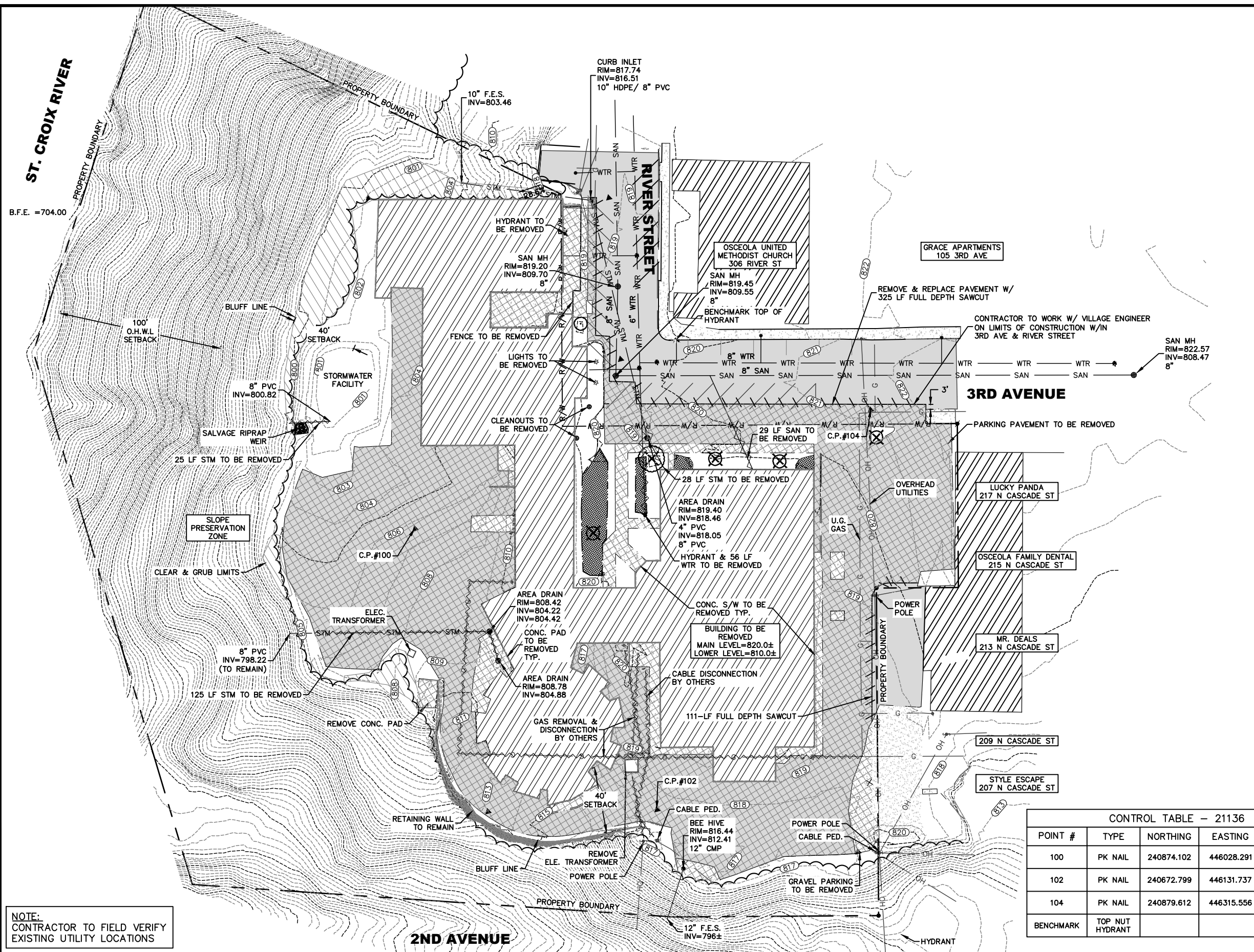




Know what's below.  
Call before you dig.



0 15 30 60



**LEGEND**

- EXISTING CONTOURS-MNR
- EXISTING CONTOURS-MJR
- CLEAR AND GRUB TREES (CLEARING LIMITS)
- REMOVE PAVEMENT
- FULL-DEPTH SAWCUT
- CURB & GUTTER REMOVAL
- UTILITY REMOVAL
- TREE REMOVAL

- GENERAL NOTES:**
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
  - CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
  - CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
  - CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
  - CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
  - NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
  - CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
  - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

**CONTROL TABLE - 21136**

POINT #	TYPE	NORTHING	EASTING	ELEVATION
100	PK NAIL	240874.102	446028.291	
102	PK NAIL	240672.799	446131.737	
104	PK NAIL	240879.612	446315.556	
BENCHMARK	TOP NUT HYDRANT			822.82

- SURVEY NOTES:**
- TOPO SURVEY PERFORMED BY REAL LAND SURVEYING MAY 12, 2021
  - UTILITY SIZES AND LOCATIONS ARE COMPILED FROM SURVEYS AND AS-BUILTS INFORMATION PROVIDED BY OTHERS. ADVANCED ENGINEERING CONCEPTS MAKES NO GUARANTEE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE EXISTING LINWORK.
  - CONTRACTOR TO VERIFY EXISTING PRIVATE UTILITIES PRIOR TO ANY CONSTRUCTION TAKING PLACE.

**NOTE:**  
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.  
21136

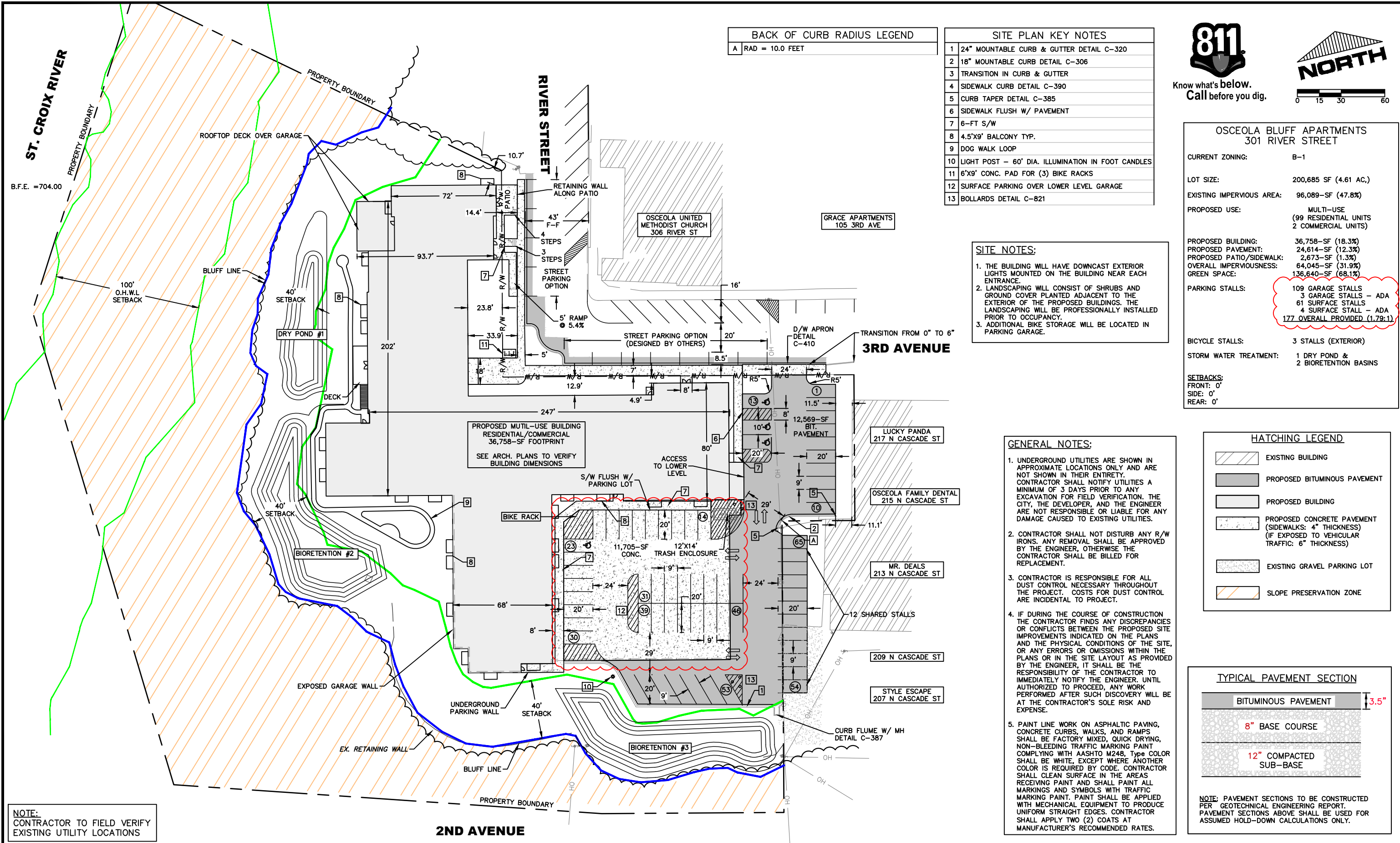
ADVANCED ENGINEERING CONCEPTS  
1360 INTERNATIONAL DR  
EAU CLAIRE, WI 54701  
PH: 715-552-0330  
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EXISTING CONDITIONS & DEMOLITION PLAN

OSCEOLA BLUFF APARTMENTS  
OSCEOLA VENTURES, LLC  
301 RIVER STREET  
OSCEOLA, WI

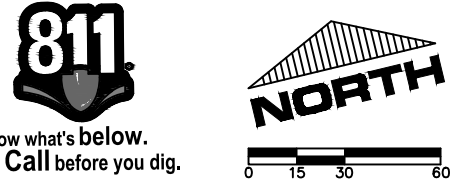
DWG NAME 21136 PG2 EXISTING	2
DATE 4/2023	8





BACK OF CURB RADIUS LEGEND	
A	RAD = 10.0 FEET

SITE PLAN KEY NOTES	
1	24" MOUNTABLE CURB & GUTTER DETAIL C-320
2	18" MOUNTABLE CURB DETAIL C-306
3	TRANSITION IN CURB & GUTTER
4	SIDEWALK CURB DETAIL C-390
5	CURB TAPER DETAIL C-385
6	SIDEWALK FLUSH W/ PAVEMENT
7	6-FT S/W
8	4.5'X9' BALCONY TYP.
9	DOG WALK LOOP
10	LIGHT POST - 60" DIA. ILLUMINATION IN FOOT CANDLES
11	6'X9' CONC. PAD FOR (3) BIKE RACKS
12	SURFACE PARKING OVER LOWER LEVEL GARAGE
13	BOLLARDS DETAIL C-821



OSCEOLA BLUFF APARTMENTS 301 RIVER STREET	
CURRENT ZONING:	B-1
LOT SIZE:	200,685 SF (4.61 AC.)
EXISTING IMPERVIOUS AREA:	96,089-SF (47.8%)
PROPOSED USE:	MULTI-USE (99 RESIDENTIAL UNITS 2 COMMERCIAL UNITS)
PROPOSED BUILDING:	36,758-SF (18.3%)
PROPOSED PAVEMENT:	24,614-SF (12.3%)
PROPOSED PATIO/SIDEWALK:	2,673-SF (1.3%)
OVERALL IMPERVIOUSNESS:	64,045-SF (31.9%)
GREEN SPACE:	136,640-SF (68.1%)
PARKING STALLS:	109 GARAGE STALLS 3 GARAGE STALLS - ADA 61 SURFACE STALLS 4 SURFACE STALL - ADA 177 OVERALL PROVIDED (1.79:1)
BICYCLE STALLS:	3 STALLS (EXTERIOR)
STORM WATER TREATMENT:	1 DRY POND & 2 BIORETENTION BASINS
SETBACKS:	FRONT: 0' SIDE: 0' REAR: 0'

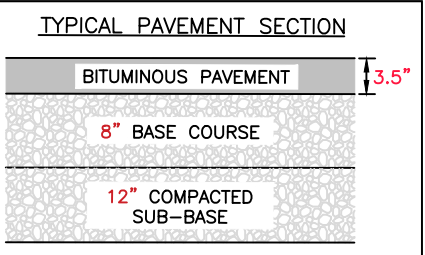
**SITE NOTES:**

- THE BUILDING WILL HAVE DOWNCAST EXTERIOR LIGHTS MOUNTED ON THE BUILDING NEAR EACH ENTRANCE.
- LANDSCAPING WILL CONSIST OF SHRUBS AND GROUND COVER PLANTED ADJACENT TO THE EXTERIOR OF THE PROPOSED BUILDINGS. THE LANDSCAPING WILL BE PROFESSIONALLY INSTALLED PRIOR TO OCCUPANCY.
- ADDITIONAL BIKE STORAGE WILL BE LOCATED IN PARKING GARAGE.

**GENERAL NOTES:**

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248, Type COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.

HATCHING LEGEND	
	EXISTING BUILDING
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)
	EXISTING GRAVEL PARKING LOT
	SLOPE PRESERVATION ZONE



NOTE: PAVEMENT SECTIONS TO BE CONSTRUCTED PER GEOTECHNICAL ENGINEERING REPORT. PAVEMENT SECTIONS ABOVE SHALL BE USED FOR ASSUMED HOLD-DOWN CALCULATIONS ONLY.

NOTE:  
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

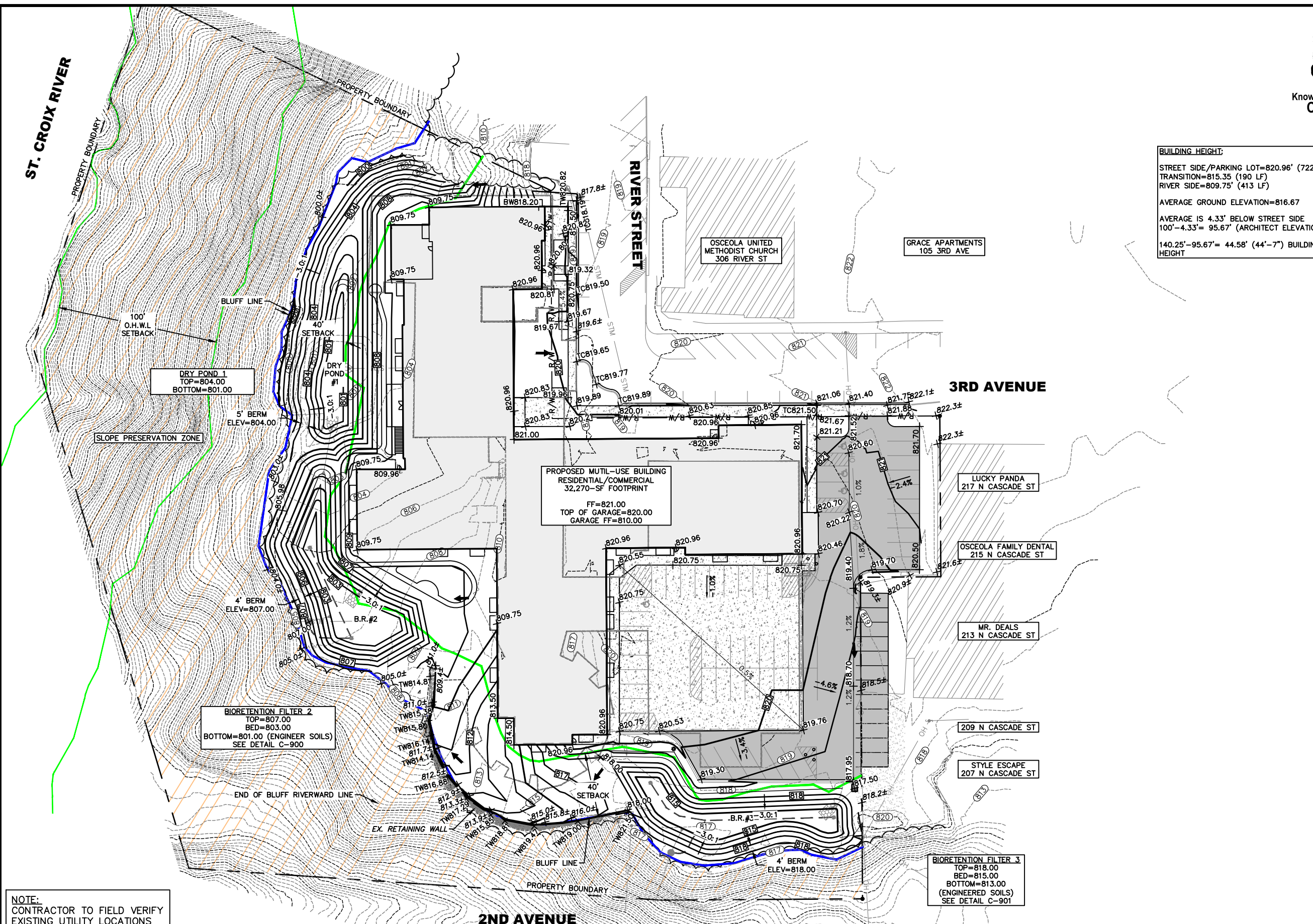




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0 15 30 60



**BUILDING HEIGHT:**  
 STREET SIDE/PARKING LOT=820.96' (722 LF)  
 TRANSITION=815.35 (190 LF)  
 RIVER SIDE=809.75' (413 LF)  
 AVERAGE GROUND ELEVATION=816.67  
 AVERAGE IS 4.33' BELOW STREET SIDE  
 100'-4.33' = 95.67' (ARCHITECT ELEVATION)  
 140.25'-95.67' = 44.58' (44'-7") BUILDING HEIGHT

**GRADING PLAN LEGEND**

---(1106)---	EXISTING CONTOURS-MNR
---(1105)---	EXISTING CONTOUR-MJR
---(851)---	FINAL CONTOUR-MJR
---(849)---	FINAL CONTOUR-MNR
---	DRAINAGE PATTERN LINES
---	GRADE BREAK LINES
1% →	PROPOSED DRAINAGE DIRECTION
+ XXX.XX	PROPOSED SPOT ELEVATION
+ XXX.X±	EXISTING SPOT ELEVATION
FF	FINISHED FLOOR ELEVATION
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TW	TOP OF WALL ELEVATION
BW	GROUND AT TOE OF WALL

- GRADING NOTES:**
- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
  - ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
  - OVER EXCAVATE THE BIORETENTION FILTER TO VIRGIN MATERIAL AND DEEP-TILL THE IN-SITU SOIL. PLACE CLEAN GRANULAR SAND AND CONSTRUCT REMAINING BED PER DETAIL C-900. PLACE EROSION MAT IMMEDIATELY AFTER GRADING. EROSION MAT TO REMAIN IN-PLACE UNTIL THE TIME THAT THE B.R.F. IS PROFESSIONALLY LANDSCAPED AND PLANTED. REPLACE MAT WITH LANDSCAPE MULCH OR NEW EROSION MAT.
  - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

**NOTE:**  
 CONTRACTOR TO FIELD VERIFY  
 EXISTING UTILITY LOCATIONS

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PROJ. NO.  
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 info@aec.engineering  
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GRADING PLAN

OSCEOLA BLUFF APARTMENTS  
 OSCEOLA VENTURES, LLC  
 301 RIVER STREET  
 OSCEOLA, WI

DWG NAME 21136 PG4 GRADING	4
DATE 4/2023	8





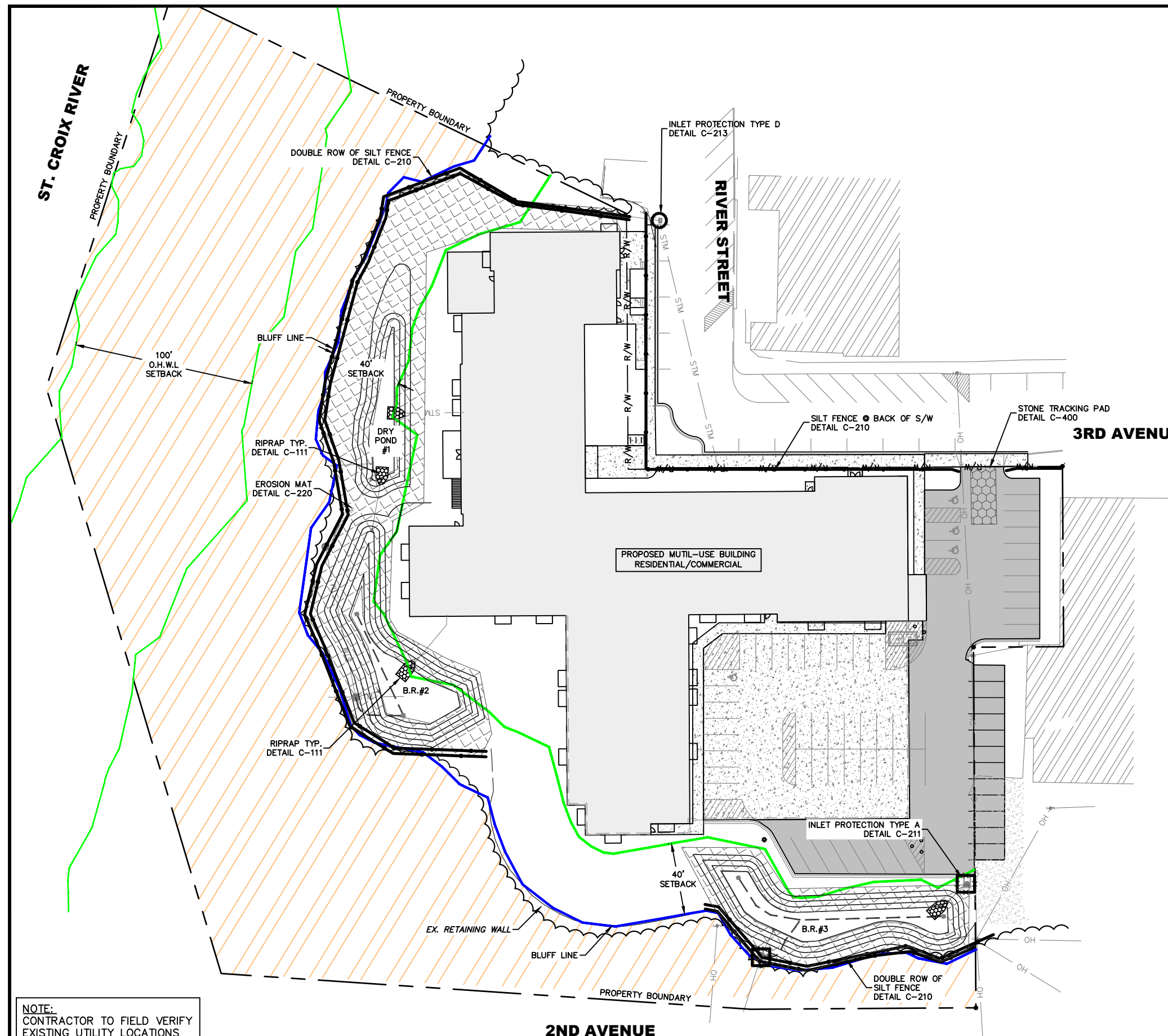
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**EROSION CONTROL LEGEND**

- SILT FENCE  
DETAIL C-210
- STONE TRACKING PAD  
DETAIL C-400
- EROSION MAT  
DETAIL C-220
- RIPRAP  
DETAIL C-111
- INLET PROTECTION  
TYPE-A  
DETAIL C-211
- INLET PROTECTION  
TYPE-D  
DETAIL C-213



THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

**EROSION CONTROL NOTES:**

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html).
8. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NRS28). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP #1063.
12. CONSTRUCT AND PROTECT THE BIORETENTION FILTER AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR #1004.
13. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
14. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
15. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
16. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
17. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
18. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
19. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
20. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
21. COORDINATE WITH ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
22. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
23. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
24. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

NOTE:  
CONTRACTOR TO FIELD VERIFY  
EXISTING UTILITY LOCATIONS

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

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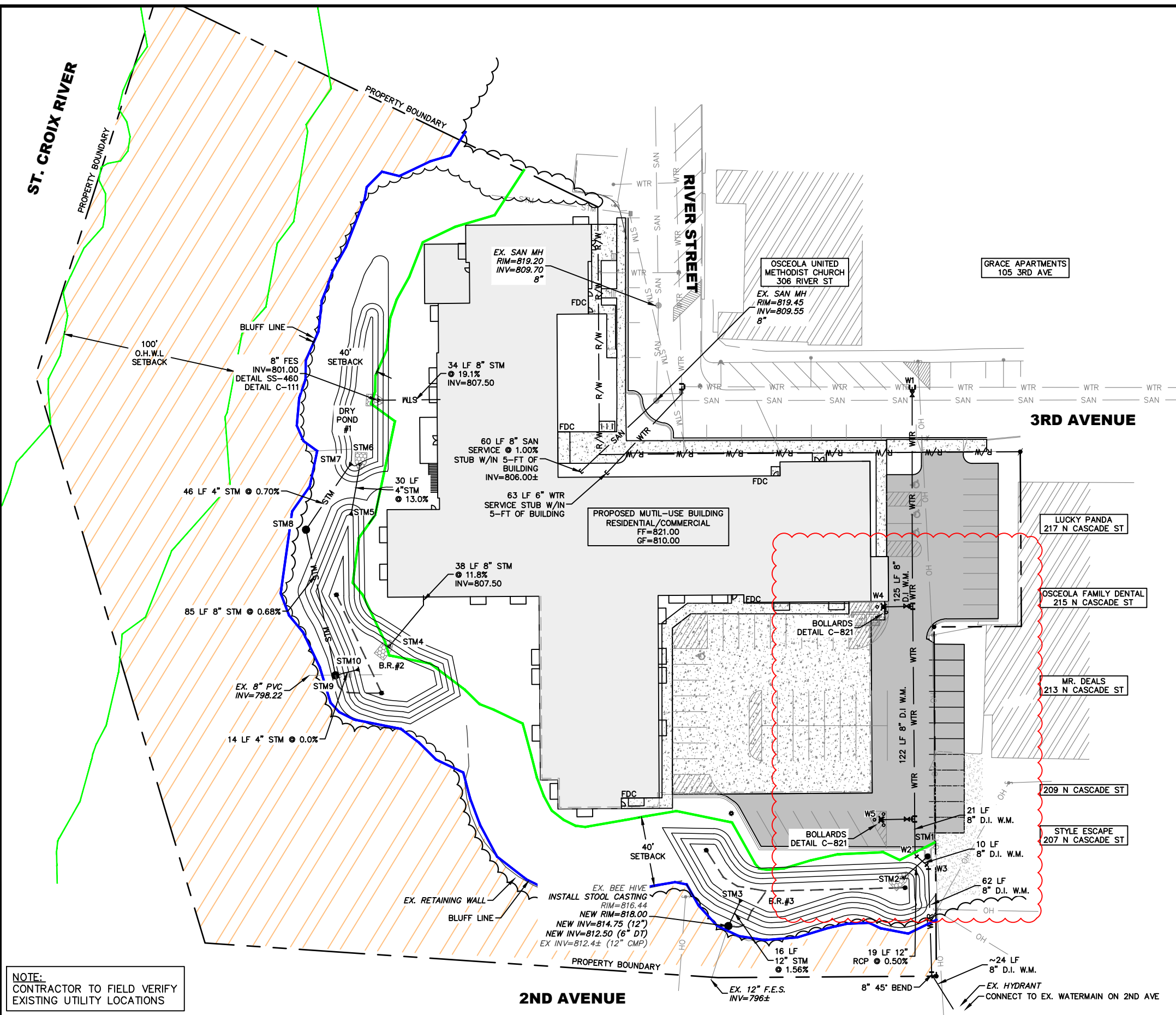
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EROSION CONTROL PLAN

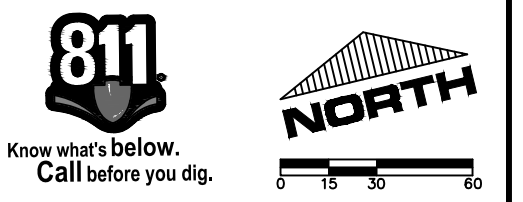
OSCEOLA BLUFF APARTMENTS  
OSCEOLA VENTURES, LLC  
301 RIVER STREET  
OSCEOLA, WI

DWG NAME  
21136 PG5  
EROSION  
DATE  
4/2023

5  
8



WATERMAIN TABLE	
FITTING	DETAIL/DESCRIPTION
W1	8" X 8" TEE COORDINATE W/ VILLAGE STREET & UTILITY RECONSTRUCTION
W2	8" 45' BEND
W3	8" 45' BEND
W4	HYDRANT PACKAGE: G.L.G.=820.53 17-LF 6" LEAD 8" X 6" TEE 6" V&B (W) DETAIL W-300
W5	HYDRANT PACKAGE: G.L.G.=819.05 19-LF 6" LEAD 8" X 6" TEE 6" V&B (W) DETAIL W-300

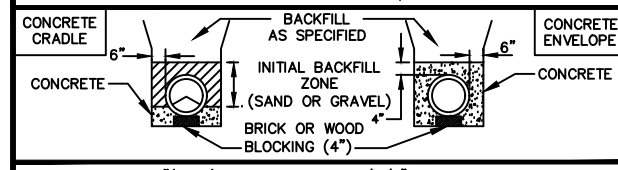
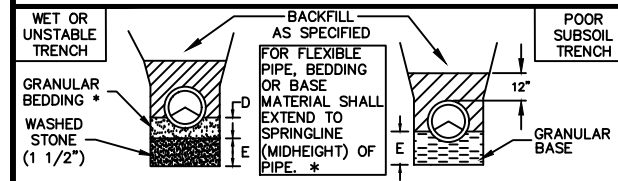
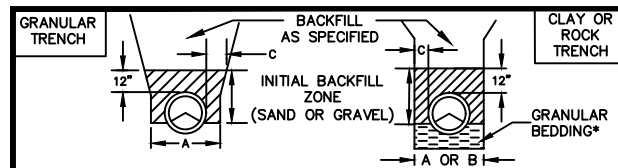


STORM SEWER TABLE					
STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-226	817.50	815.10	SW	12" RCP
STM2	SS-400	-	815.00	NE	12" RCP
	C-111				
STM3	SS-460		815.00	S	12" STM
STM4	SS-460	-	803.00	-	8" STM
	C-111				
STM5	SS-460	-	804.90	-	4" STM
STM6	SS-460	-	801.00	-	4" STM
	C-111				
STM7	SS-460	-	801.00	-	4" STM
STM8	SS-226	803.50	800.68	NE	4" STM
			800.68	S	8" STM
STM9	SS-226	806.35	803.00	E	4" STM
			800.50	E	6" DT
			800.10	N	8" STM
			799.70	W	8" STM-EX
STM10	SS-460		803.00		4" STM

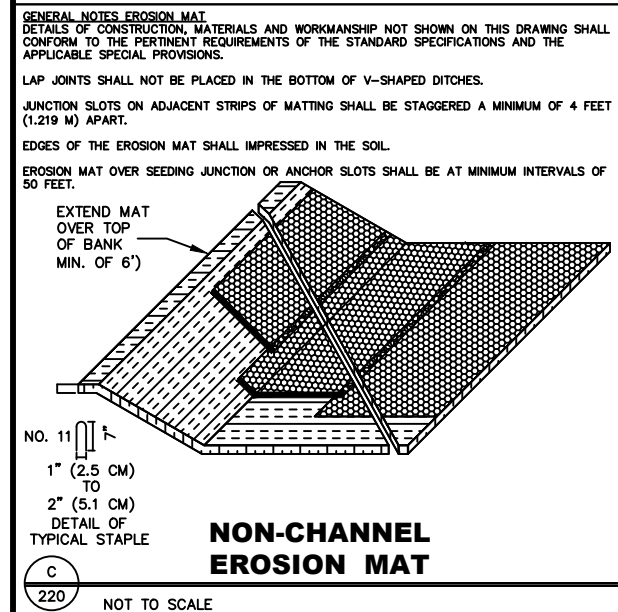
- UTILITY NOTES:**
1. STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
  2. MANHOLES ARE 48" UNLESS OTHERWISE NOTED.
  3. ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
  4. MAINTAIN A MINIMUM 7.5' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO VILLAGE OF OSCEOLA. REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
  5. 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
  6. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
  7. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
  8. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/8" PER FOOT FOR ALL 8-INCH PIPE (1000 DFU'S).
  9. CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FIXTURE UNITS (DFU'S) AND PIPE SIZES WITH THE PLUMBING PLANS.
  10. SANITARY SEWER SERVICE SHALL BE PVC (SDR 35).
  11. WATER SERVICE SHALL BE 6" D.I.P. OR APPROVED EQUAL.
  12. STORM SEWER SHALL BE ADS N-12 WT IB PIPE OR PRINSCO GOLDFLO WT OR SDR35 PVC OR APPROVED EQUAL.
  13. THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
  14. HYDRANT PACKAGE INCLUDES 6" VALVE & BOX

**NOTE:**  
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

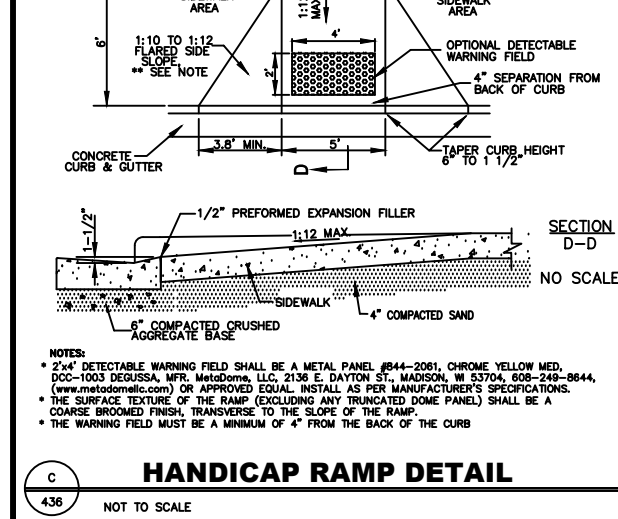




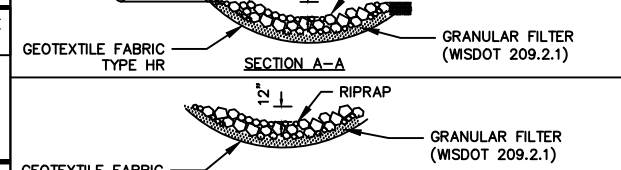
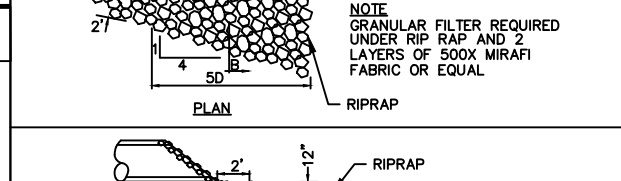
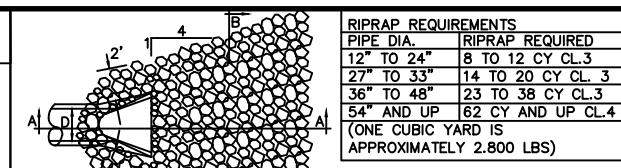
**STANDARD TRENCH SECTION**  
 100 NOT TO SCALE



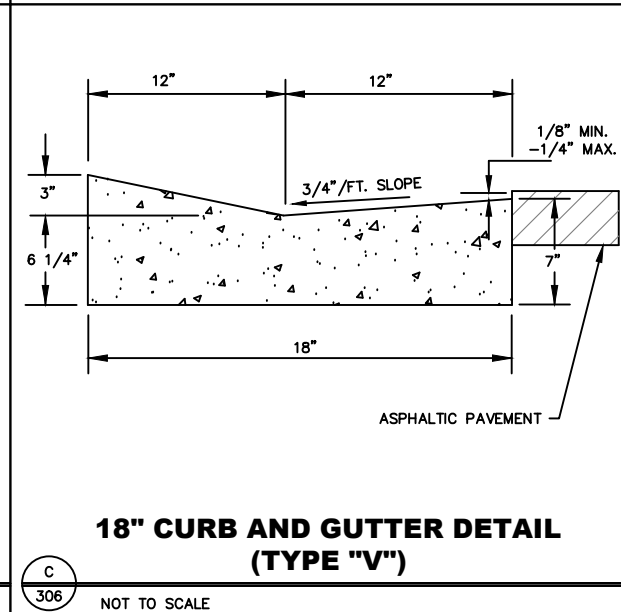
**NON-CHANNEL EROSION MAT**  
 220 NOT TO SCALE



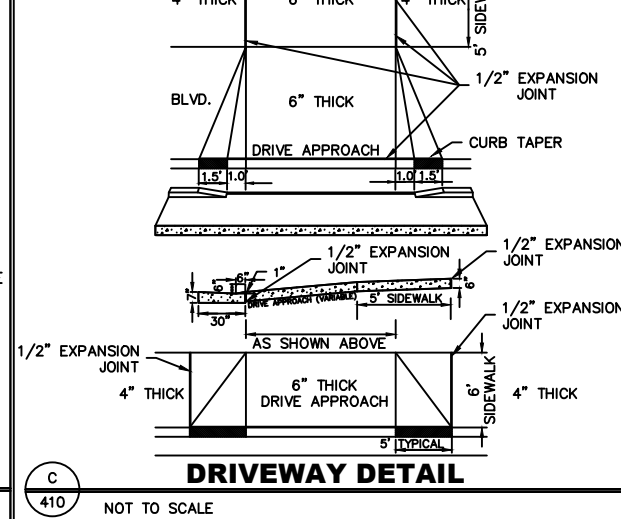
**HANDICAP RAMP DETAIL**  
 436 NOT TO SCALE



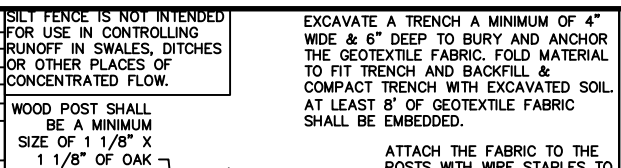
**RIPRAP CULVERT DISCHARGE DETAIL**  
 111 NOT TO SCALE



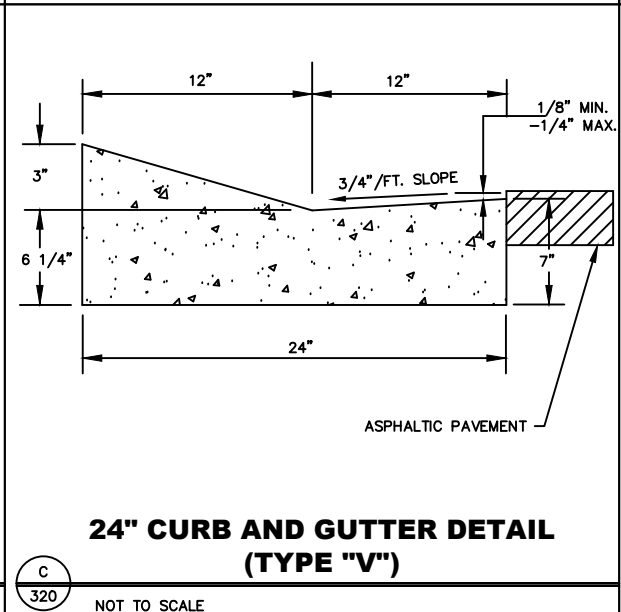
**18" CURB AND GUTTER DETAIL (TYPE "V")**  
 306 NOT TO SCALE



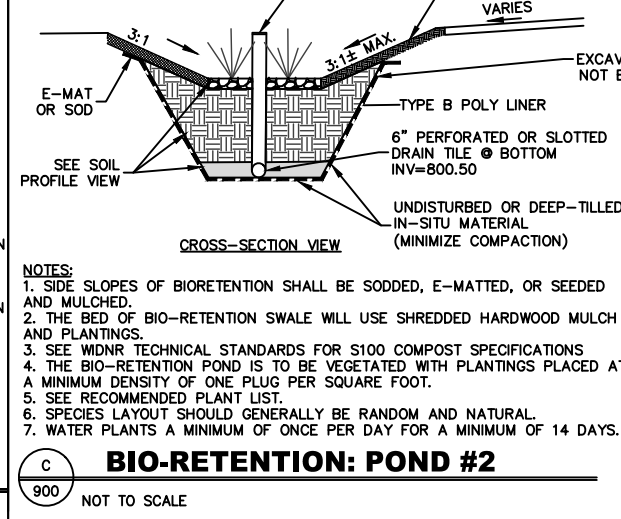
**DRIVEWAY DETAIL**  
 410 NOT TO SCALE



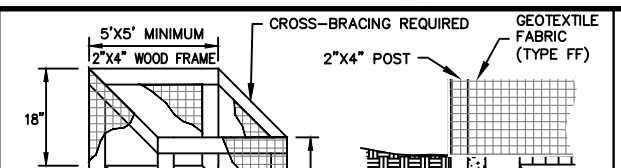
**SILT FENCE DETAIL**  
 210 NOT TO SCALE



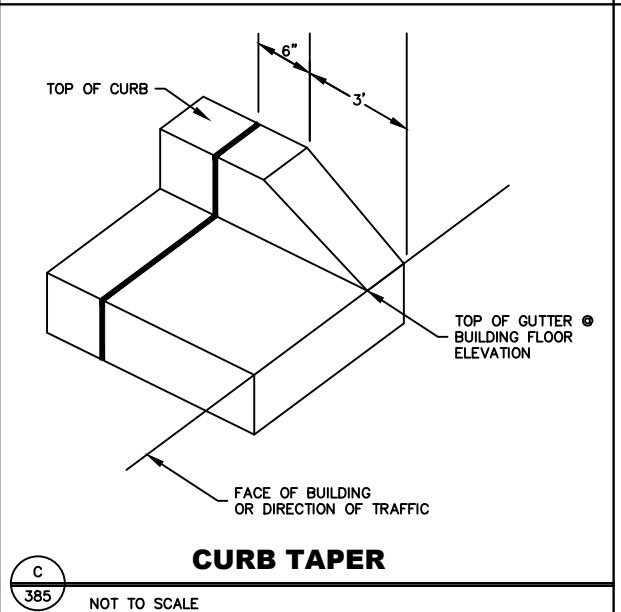
**24" CURB AND GUTTER DETAIL (TYPE "V")**  
 320 NOT TO SCALE



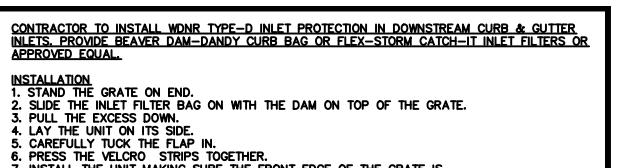
**BIO-RETENTION: POND #2**  
 900 NOT TO SCALE



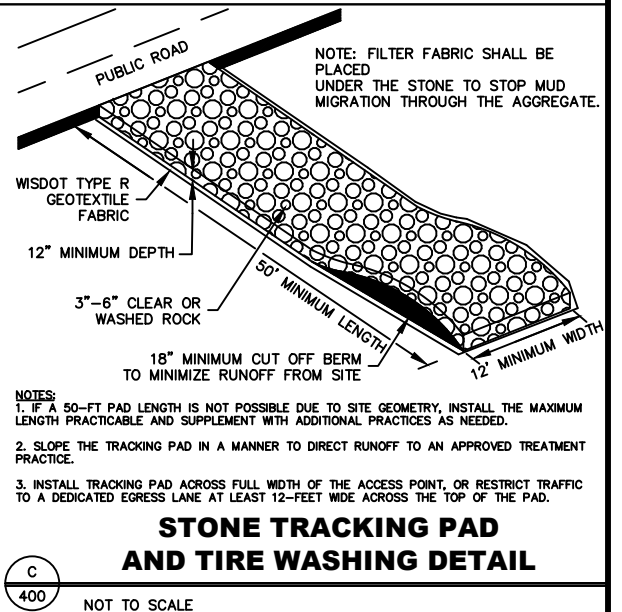
**INLET PROTECTION - TYPE A**  
 211 NOT TO SCALE



**CURB TAPER**  
 385 NOT TO SCALE



**INLET PROTECTION - TYPE D (DANDY CURB BAG)**  
 213 NOT TO SCALE



**STONE TRACKING PAD AND TIRE WASHING DETAIL**  
 400 NOT TO SCALE

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 21136

ADVANCED ENGINEERING CONCEPTS  
 1360 INTERNATIONAL DR  
 EAU CLAIRE, WI 54701  
 PH: 715-552-0330  
 info@aec.engineering  
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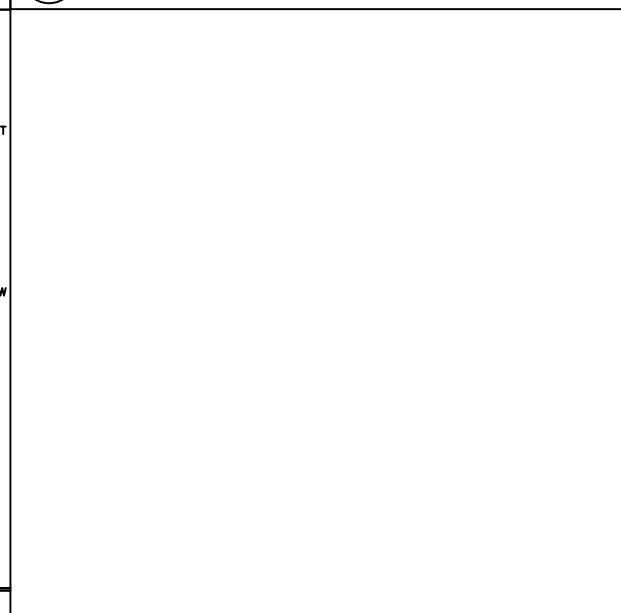
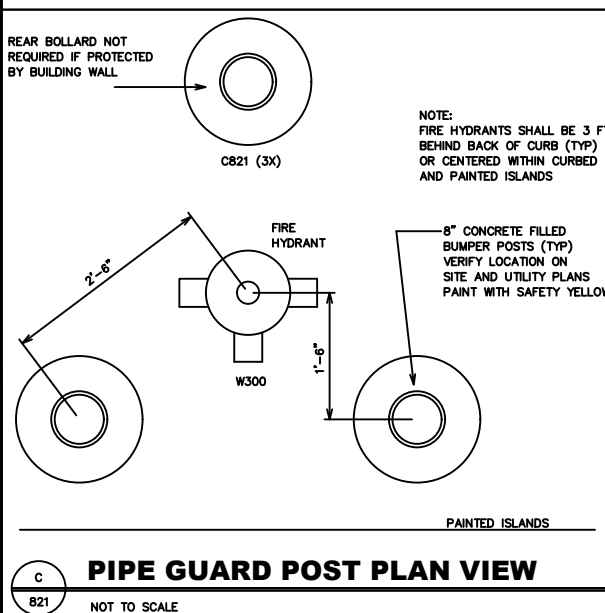
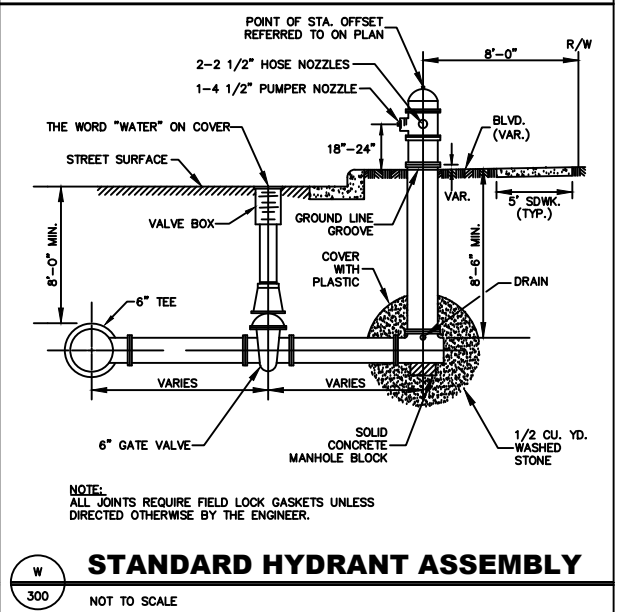
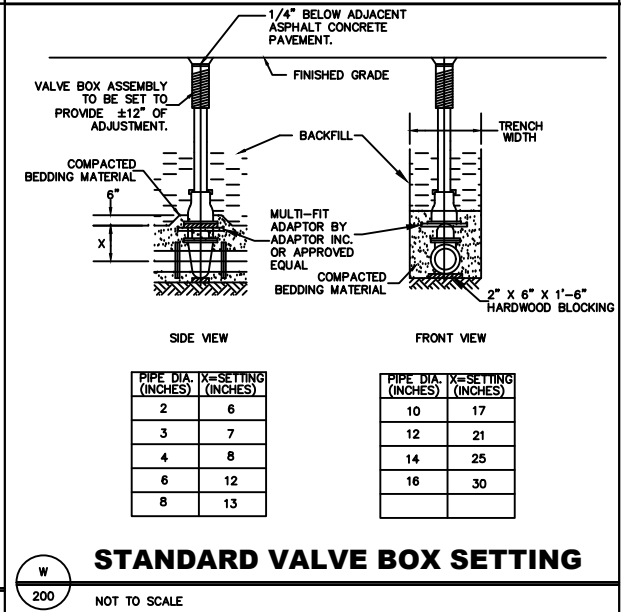
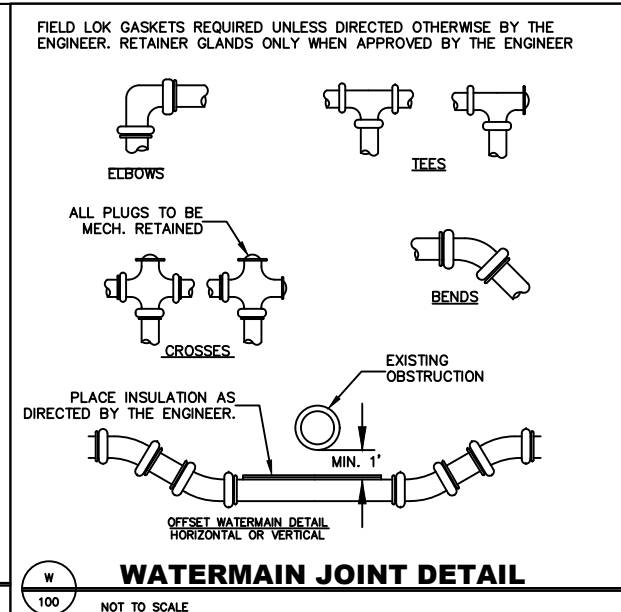
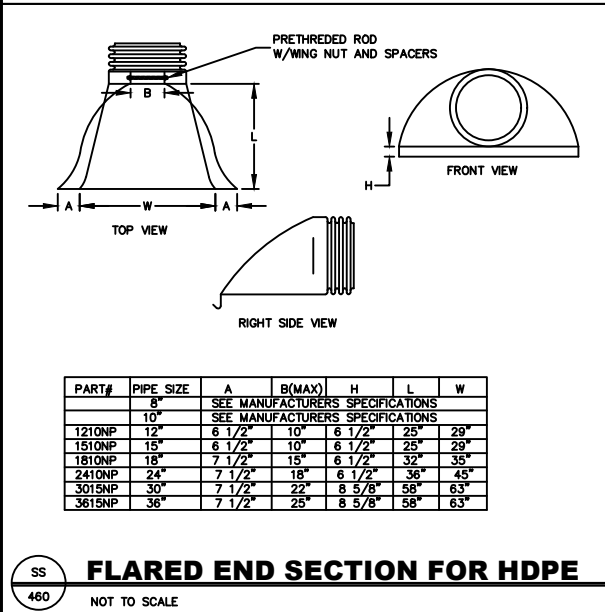
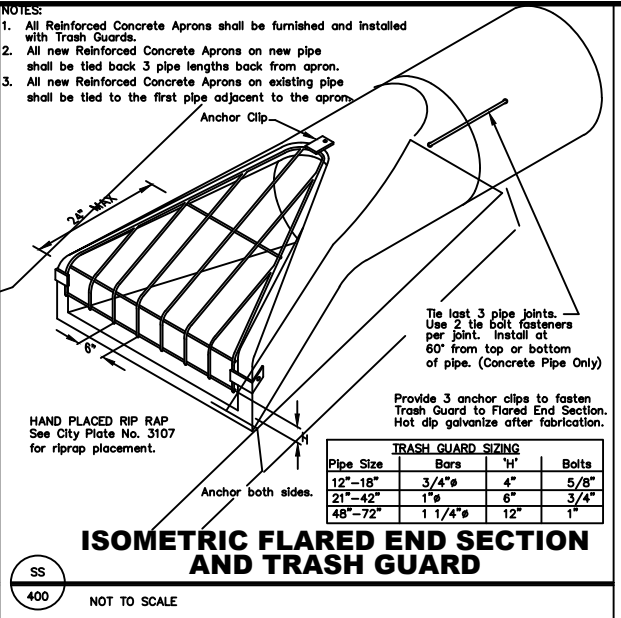
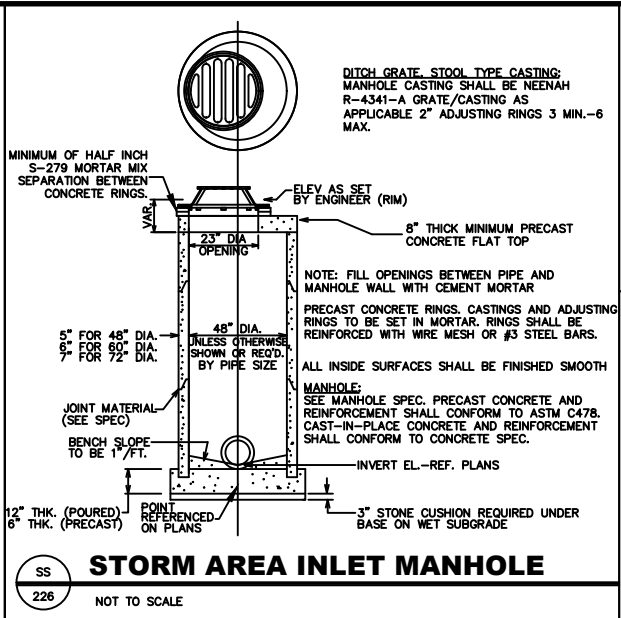
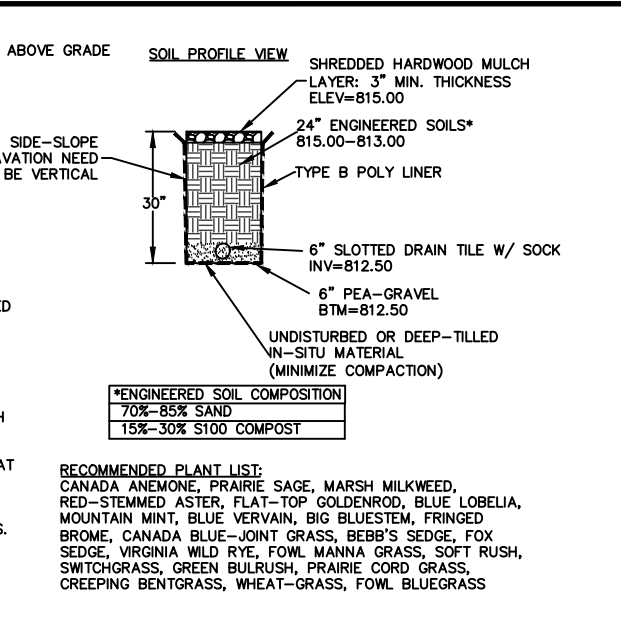
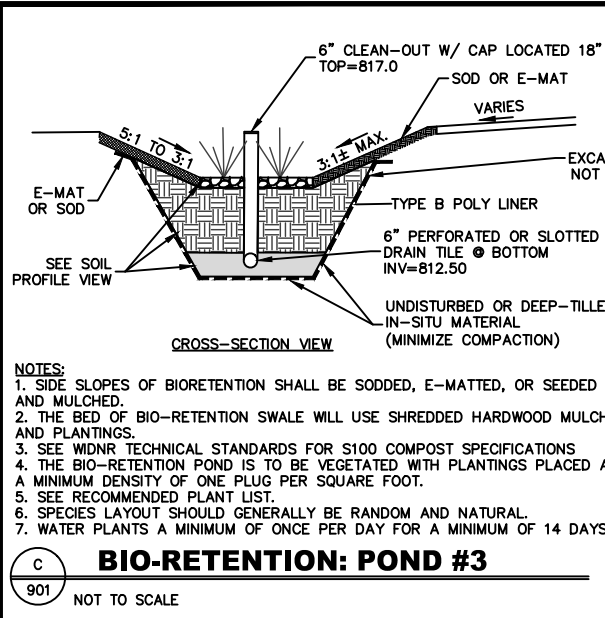
DETAILS

OSCEOLA BLUFF APARTMENTS  
 OSCEOLA VENTURES, LLC  
 301 RIVER STREET  
 OSCEOLA, WI

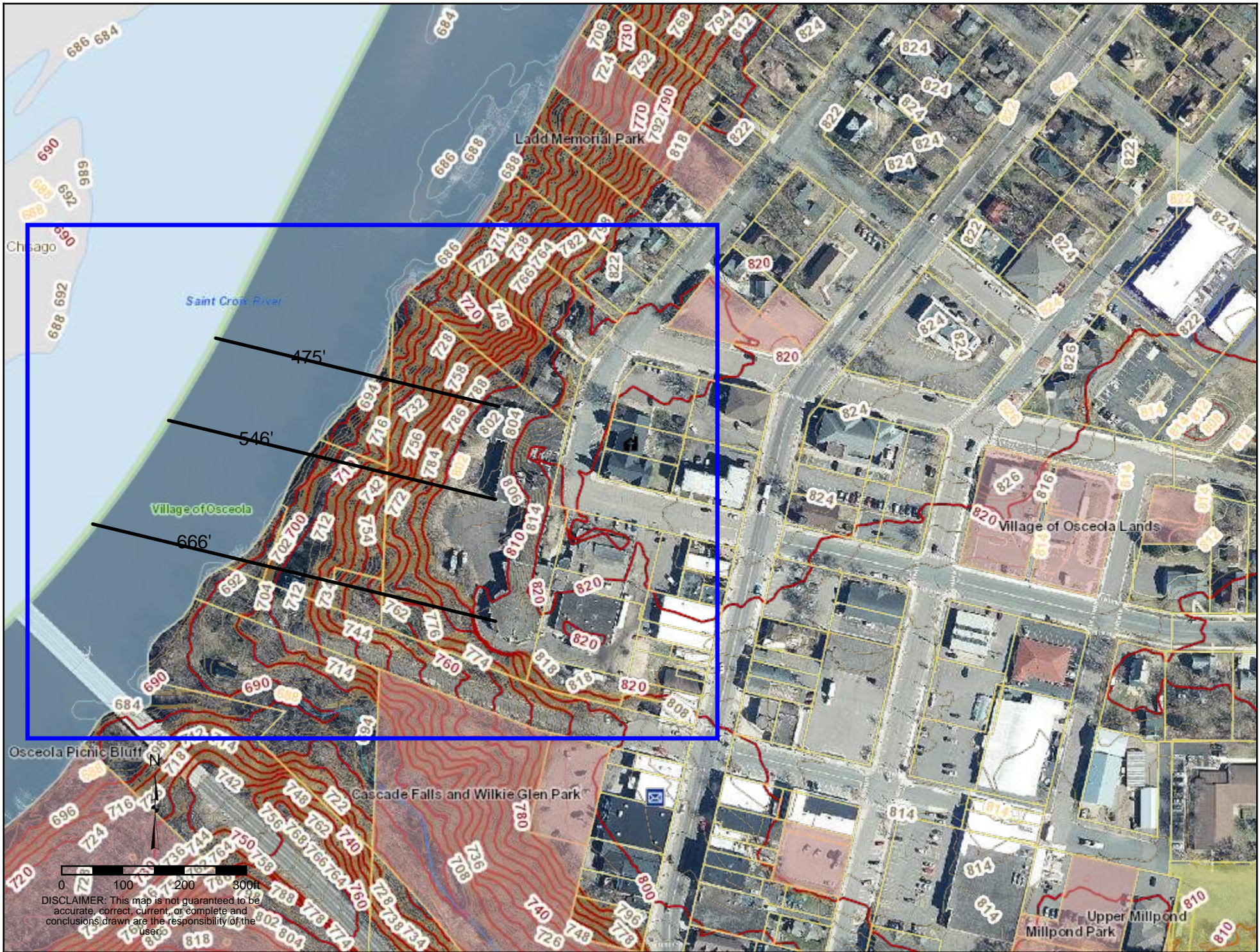
DWG NAME 21136 PG7 DETAIL 7

DATE 4/2023

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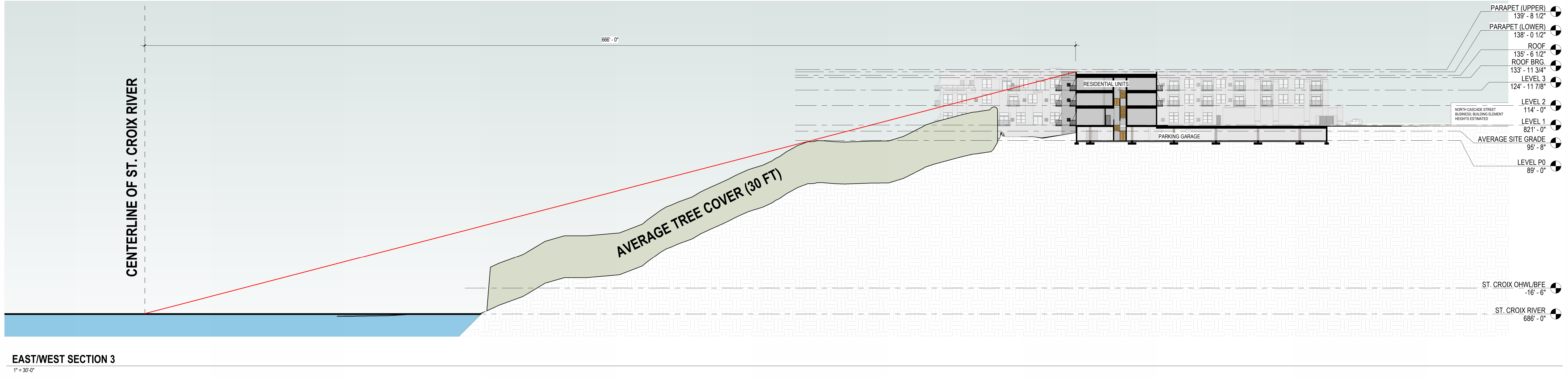
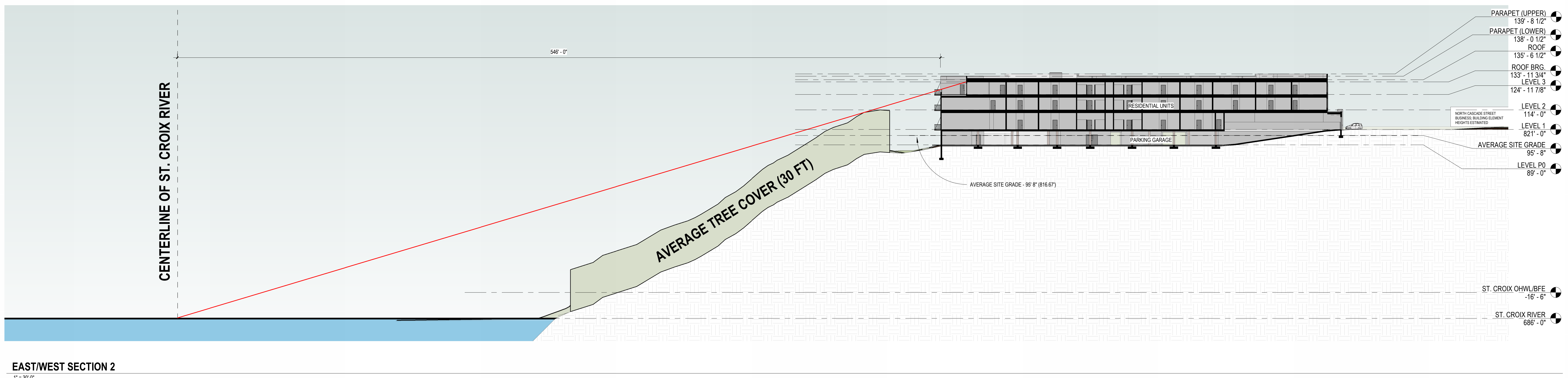
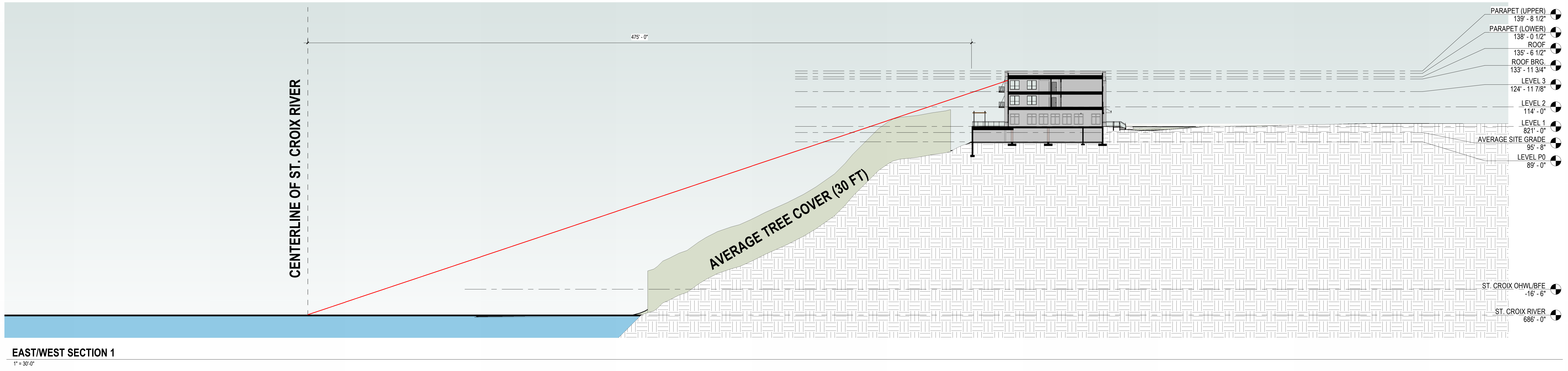














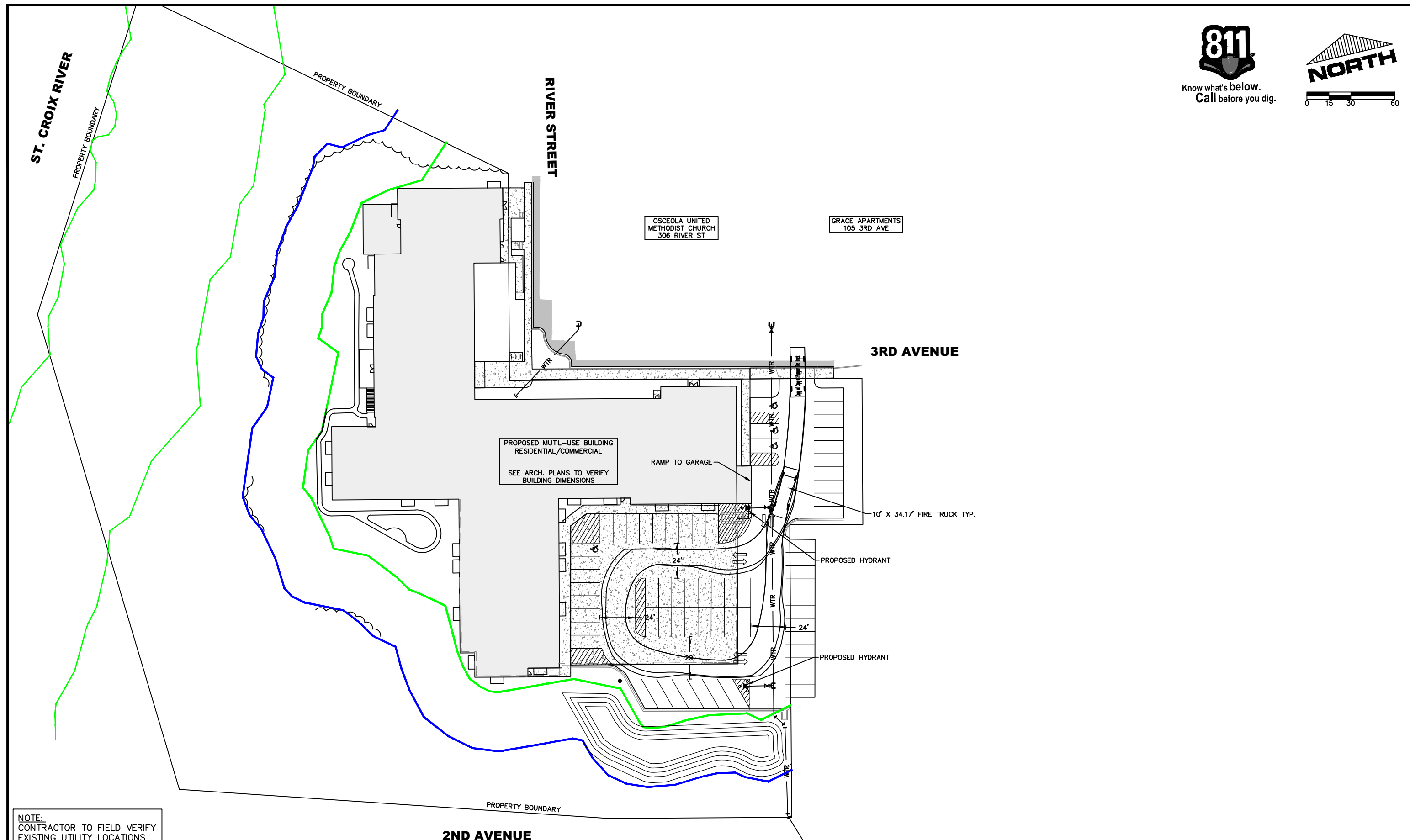




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EAU CLAIRE, WI 54701  
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FIRE TRUCK TURN EXHIBIT

OSCEOLA BLUFF APARTMENTS  
OSCEOLA VENTURES, LLC  
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